



PLANNING COMMISSION AGENDA

Regular Meeting Date: 11/20/2019

Lake Stevens School District Educational Service Center

Planning Commission
Meeting:

First Wednesday of
every Month @ 7:00pm

Planning & Community
Development
Department

1812 Main Street
Lake Stevens, WA
98258 (425) 622-9430

www.lakestevenswa.gov

Municipal Code

Available online:

www.codepublishing.com/WA/LakeStevens/

- **CALL TO ORDER 7:00pm**
Pledge of Allegiance
- **ROLL CALL**
- **GUEST BUSINESS**
- **ACTION ITEMS**
1. Approve minutes from 11/06/19

DISCUSSION ITEMS

1. Briefing: In-fill lot code amendment

Associate Planner Gassaway

- **COMMISSIONER REPORTS**
- **PLANNING DIRECTOR'S REPORT**
- **ADJOURN**

SPECIAL NEEDS

The City of Lake Stevens strives to provide accessible opportunities for individuals with disabilities. Please contact City of Lake Stevens ADA Coordinator, at (425) 622-9419 at least five business days prior to any City meeting or event if any accommodations are needed. For TDD users, please use the state's toll-free relay service.

PLANNING COMMISSION REGULAR MEETING MINUTES
Lake Stevens Fire Admin Bldg
1825 S Lake Stevens Rd, Lake Stevens, WA 98258
Wednesday, November 6, 2019

CALL TO ORDER: 7:00 pm by Chair Janice Huxford

MEMBERS PRESENT: Janice Huxford, Vicki Oslund, Tracey Trout, Jennifer Davis, Linda Hoult and Steve Ewing

MEMBERS ABSENT: John Cronin

STAFF PRESENT: Community Development Director Russ Wright and Clerk Jennie Fenrich

OTHERS PRESENT: Councilmembers Petershagen and Daughtry

Excused Absence: Commissioner Hoult made a motion and Commissioner Trout seconded to excuse Commissioner Cronin for his absence. Motion approved 6-0-0-1.

Guest business. None

Action Items:

1. Commissioner Hoult made a motion Commissioner Ewing seconded to approve with corrections the minutes for 10/16/19. Approved 6-0-0-1.

Public Hearing:

Chair Huxford asked for a motion to open the public hearing on the update to 2019 Comprehensive Plan. Commissioner Trout made the motion and Commissioner Ewing seconded. Motion passed 6-0-0-1.

Staff Presentation: Community Development Wright presented a Power Point presentation on the 2019 Comprehensive Plan Update. The proposals included city-initiated map amendments, text amendments to the land use element, park elements, public services element and capital facility element and other administrative amendments to the Comprehensive Plan.

Comments from the Commission: Commissioner Huxford asked when we received the request for the map changes. Director Wright replied the most current requests were turned in today. There were questions on several on specific Capital Facilities.

Comments from Public: Mr. Toyer from Toyer Strategic Consulting, submitted comments to the City and Commission today. He stated that amendment language isn't consistent and would like that to be corrected. He is representing his clients that would like the zoning to be changed from Neighborhood Business to Commercial District. This would allow more flexibility for permitting with a shorter turn-around time. A representative of the Master Builders association apologized for the late comments presented to the City. They are concerned about the definition of gross vs.net and are asking for broader terms and if this could be left out this time around.

There were questions on specific properties and zone on. Citizens asked questions regarding rezoning residential properties to commercial and if the City could then take their land. They asked about taxes and how they will be assessed. Traffic concerns were expressed and asked if City looks at traffic impacts when considering Commercial zoning changes. A local developer asked how the City will address infrastructure for the newly commercial zoned area, specifically sewer extension. A question arose about the zoning designation proposal being changed and added today. They believe it needs to be properly noticed to those properties surrounding these lots.

Chair Huxford asked for a motion to close the public portion of the hearing. Commissioner Hoult moved and Commissioner Ewing seconded the motion. Motion passed 6-0-0-1.

Comments from the Commission:

The Commission discussed how to proceed. Due to late arrival of request for designation, a motion was made to move the Comp Plan forward extracting the new Neighborhood Business designation as well as the gross/net allotment until there is more time to study it. The group was united that the new designation be properly noticed to surrounding properties. A vote passed 4-2-0-1, with Steve Ewing, Linda Hoult, Vicki Oslund and Jennifer Davis in the affirmative. A second motion was made to continue this action until further study. 2-4-0-1, with Janice Huxford and Tracey Trout in the affirmative.

Discussion items: None

Commissioner Reports: Commissioner Ewing thank all people who voted in the recent election. Commissioner Ewing attended the Snohomish County Tomorrow presentation on Light Rail North and aid it was excellent. Commissioner Davis gave thanks to Steve Ewing for running a campaign with so much integrity. Commissioner Trout expressed thanks to the City for the wonderful Harvest Festival and hopes it continues. Commissioner Huxford requests the City's mobile app be easier access to the Planning Commission packet on mobile devices.

Planning Director Report: Director Wright reported we have a new Assistant Planner Jill Needham.

Adjourn. Motion to adjourn by Commissioner Hoult, seconded by Commissioner Trout. Motion carried 6-0-0-1. Meeting adjourned 9:03 pm.

Janice Huxford, Chair

Jennie Fenrich, Clerk, Planning & Community Development



Staff Report City of Lake Stevens Planning Commission

Planning Commission Briefing
Date: November 20, 2019

SUBJECTS: Land Use Code Amendment

CONTACT PERSON/DEPARTMENT: Russ Wright, *Community Development Director*
Dillon Roth, *Planner*
Sabrina Gassaway, *Associate Planner*

SUMMARY: Over the last several months staff has been holding meetings with a Land Use Advisory Committee made up citizens and developers to evaluate the city's zoning code and make recommendations for ways to develop a flexible and efficient code that can increase diversity in housing stock throughout the community and promote quality neighborhoods.

ACTION REQUESTED OF PLANNING COMMISSION: None required

Project Goals:

1. Define what new development can look like in standard subdivisions for properties within and outside city limits considering the current land supply;
2. Define innovative housing tools that will support more diverse neighborhoods with a mix of housing types; and
3. Define an infill toolbox for re-developable and partially-used properties.

Zoning Code Update:

At tonight's meeting some of the Land Use Advisory Committee members are in attendance to discuss the project, process and some findings and recommendations. Staff will present proposed code changes to implement the work from the Land Use Advisory Committee and changes to chapters 14.46 and proposed new chapter for the Lake Stevens Design Guidelines for Single Family.

Chapters 14.46

The changes to Chapter 14.46 LSMC include two new sections Part III Infill Development and Part IV Multi-Family Uses in WR Zone and removal and corrections of parallel review processes that are already found in Chapter 14.16C LSMC.

Part III Infill Development provides provisions to allow for alternative housing styles that give flexibility and standards for underutilized residential properties that remain in developed areas of the city. These flexibility options include bonus for density, setback, and impervious surface. Eligible infill development properties would be limited to lots with a maximum buildable area of 1 acre. Infill projects would be reviewed based on the underlying application of the infill zoning code. Applying the prescriptive code requirements, staff can alleviate the need for review through a quasi-judicial land use application. This reduction is intended to promote affordability of infill projects, streamline review reducing review timelines and encouraging new varieties in housing type within existing communities throughout Lake

Stevens.

Part IV Multi-Family Uses in WR Zone proposes to permit limited multifamily structures in the waterfront residential zone. This section proposes relaxed development standards including an increase in density and setback standards that match that of the HUR (R8-12) zone found in 14.48, Table 14.48-I. Structures would be limited to a height requirement of 35 feet and would be required to provide a protected view corridor to Lake Stevens meeting goals of the Shoreline Master Program. Waterfront multifamily projects would be reviewed through the administrative conditional use permit that follows a Type II permit process and allows for public meetings upon request.

Included corrections removed references to the Design Review Board and a parallel process that was similar that of (blank process) found in chapter 14.16C. The removal of this duplicate process allows for streamlined review and confusion of application in future applications of this section.

Next Steps

Staff will present additional code sections for the Commission's consideration leading to a Public Hearing in early December.

Attachments:

1. Code amendment 14.46
2. Design Guidelines Single Family Chapter V.

Chapter 14.46 INNOVATIVE HOUSING AND INFILL
~~INNOVATIVE HOUSING OPTIONS PROGRAM~~

Sections:

Part I. General Provisions

14.46.001 Purpose

14.46.005 Goals

14.46.010 Applicability

14.46.015 Review and Processing

14.46.020 Application

14.46.025 Sewer Requirements

~~14.46.030 Unit Lot Subdivisions~~

14.46.035 Modifications to the Provisions in This Chapter

14.46.040 *Repealed*

14.46.045 *Repealed*

Part II. Cottage Housing Development Standards

14.46.100 Purpose and Intent

14.46.105 Existing Dwellings

14.46.110 Density Standards

14.46.115 Community Assets

14.46.120 Impact Fees

14.46.125 Access and Parking

14.46.130 Walkways

14.46.135 Storage

14.46.140 Design Standards

Part III. Infill Development

14.46.200

Part IV. Multi-Family Uses in WR Zone

14.46.300

Part I. General Provisions

14.46.001 Purpose.

This purpose of this chapter is to help achieve the goals and objectives of the Land Use and Housing elements of the Lake Stevens Comprehensive Plan ~~by providing for a separate program for individual projects creating a type of housing appropriately sized for smaller households.~~ These housing options

encourage more efficient use of land and energy, build communities, and offer more affordability (Ord. 872, Sec. 2, 2012; Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.005 Goals.

The goals ~~of the for~~ innovative housing ~~and infill options as defined in this chapter program~~ are to:

- (a) Increase housing supply and the choice of housing styles available in the community in accordance with the Comprehensive Plan.
- (b) Provide for development of housing that responds to changing demographics and smaller-sized households.
- (c) Support the efficient use of land and higher density infill in developed areas.
- (d) Promote housing affordability and greater choice by encouraging smaller and more diverse home sizes and mixes of income levels.
- (e) Promote ~~high~~-quality design ~~and materials that are compatible with adjacent neighborhoods~~.
- (f) Allow flexibility in site and design standards while promoting infill projects compatible with existing single-family developments. (Ord. 872, Sec. 3, 2012; Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.010 Applicability.

This chapter applies to all innovative housing projects allowed and submitted under this chapter. (Ord. 872, Sec. 4, 2012; Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.015 Review and Processing.

~~Innovative housing projects shall be reviewed and processed according to the requirements of Sections 14.16C.015, 14.16C.045 and 14.40.020(b), with the additional requirements below:~~

- (a) A pre-application conference per Section 14.16A.220(d) is ~~highly recommended~~required to exchange general and preliminary information and to identify potential issues.

~~(b) After the pre-application conference, the applicant shall schedule and host a neighborhood meeting before submitting an application to the City. The purpose of the neighborhood meeting is to provide residents who live adjacent and nearby to the innovative housing development an opportunity to obtain information about the proposal and provide comment on the overall project before an applicant expends significant time and resources in developing the specific site and development features of the proposal.~~

~~(1) The meeting shall be located in the general area of the proposed project.~~

~~(2) Notice of the neighborhood meeting shall be mailed to all property owners located within 300 feet of the proposed project or 20 property owners (whichever results in more property owners being noticed) and shall provide details of the proposed project, including a description of any modification or flexibility in site design standards that will be requested.~~

~~(3) Comprehensive notes describing the meeting shall be submitted with the project application.~~

~~(4) Following the neighborhood meeting, the applicant shall consider public input received during the neighborhood meeting and shall consider recommendations, if any, for revising the proposed innovative housing project to respond to neighborhood concerns. The~~

~~(b) Projects that use the provisions included in this chapter shall will follow the permit path associated with the underlying permit pursuant to Chapters 14.16A and 14.16B.~~

~~(MAY BE TYPE II SITE PLAN REVIEW IF DESIRE FOR PUBLIC MEETING) – QUESTION FOR PLANNING COMMISSION.~~

(c) Innovative housing projects are subject to design review per LSMC 14.16C.050.

~~Duties and authority are as follows:~~

~~(1) The Design Review Board is required to meet with the Director and City staff at a meeting to discuss proposed innovative housing development site plans and recommend modifications.~~

~~(2) Prior to a final decision by the Director or the Hearing Examiner, the Design Review Board shall make a recommendation based on whether the proposed project meets the specific design requirements provided in this chapter for the specific type of innovative housing option and may propose allowable modifications. (Ord. 872, Sec. 5, 2012; Ord. 811, Sec. 54, 2010; Ord. 798, Sec. 7 (Exh. 2), 2009)~~

14.46.020 Application.

Applications for an innovative housing project shall be made on forms provided by the City, ~~pursuant to the permit path associated with the underlying permit pursuant to Chapter 14.16A. In addition, to the underlying permit the following items shall be provided at the time of submittal shall be available for public review for a minimum of two weeks prior to the neighborhood meeting, and shall include the following materials.~~

(a) Preliminary Development Plan. A ~~site preliminary development plan of the proposed development, indicating property lines, proposed setbacks, and lot coverage calculations proposed structures, parking, roads, infrastructure and open space / landscape areas and other items identified in LSMC 14.16C.105 Site Plan Review . The site plan shall also include the location of all adjacent structures, the distance to property lines, and the footprint of any existing structures on the property with a note on which structures will remain. The preliminary development plan shall consist of a site plan drawn to scale and shall display the following information:~~

~~(1) The location, size, configuration, and dimensions of the lot(s) on which the innovative housing development will be developed;~~

~~(2) The location, height and footprint including square feet for each dwelling unit;~~

~~(3) A depiction of individual dwelling unit area that delineates the spacing around each dwelling unit;~~

~~(4) A delineation of the common open areas, if applicable;~~

~~(5) The parking locations, layout, circulation, ingress and egress;~~

~~(6) The location, if applicable, of any buildings to be used in common by the residents of the innovative housing development;~~

~~(7) The layout and dimensions of pedestrian circulation from the parking areas and connections to the dwelling units;~~

~~(8) A depiction of the driveway access from a publicly maintained street to the innovative housing development parking areas, with its dimensions; and~~

~~(9) Any other information the Director finds necessary to ensure compliance with this title.~~

~~(b) Conceptual drawings of the proposed innovative housing type, including building footprints and building elevations, floor plans, roof plans, and additional architectural features.~~

~~(c)~~ A detailed description of how the proposed development is consistent and not in conflict with the surrounding neighborhood character and neighborhood design.

~~(d)~~ A detailed description of how the proposed development meets the purpose and goals of this chapter and complies with all the criteria and project parameters for an innovative housing project.

~~(e) A detailed description of the proposed unit type, including proposed square footage, unit mix, and number of bedrooms per unit.~~

~~(f) General information about the site including the number of dwelling units allowed by the zone and the number of proposed dwelling units, open space allowed and proposed, impervious surface allowed and proposed, and building height allowed and proposed.~~

~~(g) Photographs of the site and adjacent properties keyed to the site plan.~~

(h) Additional information as required by the application forms provided by the City or deemed necessary by City staff to consider the application. (Ord. 903, Sec. 37, 2013; Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.025 UtilitySewer Requirements.

Innovative housing developments are required to be developed on lots on sewers with public utilities including public water and sanitary sewer. No septic systems shall be allowed. (Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.030 Unit Lot Subdivisions.

~~(a) The provisions of this section apply exclusively to the unit lot subdivision of land for innovative housing developments pursuant to this chapter in zones where such uses are permitted.~~

~~(b) Innovative housing developments may be subdivided into individual unit lots. The development as a whole shall meet development standards applicable at the time the permit application is vested. As a result of the subdivision, development on individual unit lots may be nonconforming as to some or all of the development standards of this title based on analysis of the individual unit lot, except that any private open space for each dwelling unit shall be provided on the same lot as the dwelling unit it serves.~~

~~(c) Unit lot subdivisions and subsequent platting actions, additions or modifications to the structure(s) may not create or increase any nonconformity of the parent lot.~~

~~(d) Access, joint use and maintenance agreements shall be executed for use of common garage or parking areas, common open area and other similar features, as recorded with Snohomish County.~~

~~(e) Within the parent lot, required parking for a dwelling unit may be provided on a different unit lot than the lot with the dwelling unit, as long as the right to use that parking is formalized by an easement on the plat, as recorded with Snohomish County.~~

~~(f) The facts that the unit lot is not a separate buildable lot and that additional development of the individual unit lots may be limited as a result of the application of development standards to the parent lot shall be noted on the plat, as recorded with Snohomish County. (Ord. 798, Sec. 7 (Exh. 2), 2009)~~

14.46.035 Modifications to the Provisions in this Chapter

(a) An applicant may request modifications to the provisions of this chapter or other provisions of this title related specifically to this chapter, to the extent that such modifications are consistent with the purpose, intent and requirements of this chapter.

(b) The applicant must describe each requested modification and document in writing how the modifications are consistent with the purpose, intent and requirements of this chapter.

(c) The Director or Hearing Examiner may approve modifications ~~after:~~

~~(1) Considering the Design Review Board's recommendations; and (2) Documenting documented~~ in writing that the modifications are consistent with the purpose and requirements of this chapter and do not threaten the public health, safety, or welfare depending on the underlying permit type.

(d) Minor changes to a site plan or design elements approved under this chapter may be approved by the Director. Changes that increase the intensity of development, e.g., trips generated or number of residential units; alter the character of the development or balance of mixed uses; increase the floor area in one building by more than 10 percent; change access points; move buildings around on the site; reduce the acreage of common open area or buffering areas; or diminish the effectiveness of perimeter buffers, are major and shall be subject to the requirements of this chapter. Major modifications may be approved by the original decision body and shall be subject to design review approval. (Ord. 872, Sec. 6, 2012; Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.040 Sunset Clause.

Repealed by Ord. 872. (Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.045 Program Evaluation.

Repealed by Ord. 872. (Ord. 798, Sec. 7 (Exh. 2), 2009)

Part II. Cottage Housing Development Standards

14.46.100 Purpose and Intent.

(a) These regulations set forth the required standards for cottage housing developments as permissible uses in ~~various zoning districts as specified in Section 14.44.035-~~ the following zoning districts: R6, R8-12 and MFR.

(b) Cottage housing allows for a higher density development than is normally allowed. This is made possible by smaller home sizes, clustered home sites, and parking and design standards.

(c) The intent of the cottage housing development regulations is to:

(1) Support the growth management goal of more efficient use of urban residential land;

- (2) Support development of diverse housing in accordance with the Comprehensive Plan;
- (3) Increase the variety of housing types available for smaller households;
- (4) Provide opportunities for small, detached dwelling units within existing neighborhoods; and
- (5) Provide opportunities for creative, diverse and high quality ~~infill~~ development that is compatible with existing neighborhoods. (Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.105 Existing Dwellings.

An existing detached single-family dwelling that is incorporated into a cottage housing development as a residence and is nonconforming with respect to the standards of this chapter shall be permitted to remain on a site used for a cottage housing development and shall count as one of the allowed units. However, the extent of the noncompliance may not be increased unless the proposed change is determined by the Director to be consistent in character, scale and design with the cottage housing development. Repair, maintenance and reconstruction of an existing dwelling are regulated by Section [14.32.040](#). An existing dwelling may be replaced with cottage units consistent with this chapter. (Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.110 Density Standards.

The following density standards shall apply to cottage housing developments:

- (a) Cottages may be built at up to two units per single-family home allowed in the underlying zone.
- (b) Existing single-family dwellings will count towards total units.
- (c) Minimum units per cluster: four.
- (d) Maximum units per cluster: 12.
- (e) Maximum units per cottage housing development: 24.
- (f) Cottage housing developments are required to be a minimum of 500 feet from another cottage housing development.
- (g) Carriage house units may be built on top of a common garage, when the garage is located adjacent to the common open area. No more than 25 percent of the total number of units may be located above a common garage. (Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.115 Community Assets.

(a) Common Open Area. The minimum common open area requirements set forth in this section are intended to provide a sense of openness, visual relief, and community in cottage housing developments. Common open areas shall provide a centrally located, focal area for the cottage housing development.

- (1) At least 400 square feet of common open area per cottage is required for each cluster.
- (2) Required common open area may be divided into no more than two separate areas per cluster.
- (3) To be considered as part of the minimum open space requirement, an area of common open area must have a minimum dimension of 35 feet on all sides.

~~(4) The total common open area shall be at least 3,000 square feet, regardless of the number of units in the cluster.~~

(5) At least two sides of the common open area shall have cottages along the perimeter.

(6) Parking areas, yard setbacks, private open space, and driveways do not qualify as common open area. Community buildings can be counted towards the common open area calculations.

(b) Community Buildings.

(1) Community buildings are permitted in cottage housing developments.

(2) Community buildings shall be clearly incidental in use and size to dwelling units.

(3) Building height for community buildings shall be no more than two stories with a maximum height of ~~25~~18 feet, including ground level structured parking.

(4) Maximum size of community buildings shall be 2,000 square feet.

(5) Design shall be similar to and compatible with the design of the cottages.

~~(6) Community buildings may be constructed on top of parking structures to a maximum height of 25~~23 feet.

(c) Other shared facilities could include tool sheds, gazebos, workshops, or similar common elements. (Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.120 Impact Fees.

Multifamily impact fee rates shall apply to cottage housing developments. (Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.125 Access and Parking.

The intent of these access and parking standards is to minimize the visual impact of vehicles and parking areas for residents of the cottage housing development and adjacent properties and to provide for adequate off-street parking for cottage housing developments. It is the intent that shared detached garage structures be used for parking of vehicles used by the residents.

(a) Access. Access to a cottage housing development shall be consistent with Chapter [14.72](#) and Section [14.56.180](#).

(b) Minimum Number of Off-Street Parking Spaces.

(1) Minimum parking spaces requirement, including garage spaces and guest parking, shall be two per dwelling unit.

(2) Parking for a maximum of one vehicle per cottage shall be in a shared detached garage, provided the parking structure is adjacent to other parking spaces. Shared detached garage structures shall be reserved for the parking of vehicles owned by the residents of the development. Storage of items which preclude the use of the parking spaces for vehicles is prohibited.

(3) Guest parking may be clustered with resident parking and shall include clear signage identifying them as reserved for visitors.

(c) **Parking Design.** The intent of these parking design standards is to create unobtrusive parking, by screening and disguising parking structures and spaces from surrounding properties, including screening by architectural design and/or vegetation, and by minimizing the number of contiguous spaces.

(1) Parking areas or common garages shall be limited to no more than four contiguous spaces separated by a minimum of five feet of sidewalk, landscaping, or open space. The number of continuous parking garages or spaces shall be minimized.

(2) Shared detached garage structures may not exceed four garage doors per building and a total of 1,200 square feet.

(3) Parking shall be separated from the common open area, adjacent properties, and public streets by landscaping and/or architectural screening. Solid board fencing shall not be allowed as an architectural screen. Exception: One parking structure may be adjacent to the common open area, if carriage house units are placed on top and the garage includes architectural features to make it look consistent with the units and community assets.

(4) Parking shall be set back a minimum of 20 feet from a public street.

(5) The parking layout shall be designed to minimize walking distance to cottages.

(6) A pitched roof is required for all parking structures.

(7) The design of garages and carports, including roof lines, shall be similar to and compatible with that of the dwelling units within the cottage housing development.

(8) Common garages are allowed, if locked storage space is provided for each unit in the garage or community building.

(9) Parking may be located between or adjacent to structures, if it is located toward the rear of the structure and is served by an alley or driveway. (Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.130 Walkways.

(a) A cottage housing development shall have sidewalks along all public streets and be consistent with Section [14.56.180](#).

(b) A system of interior paved walkways shall connect all cottages with each other, the parking area, and the sidewalks abutting any public streets bordering the cottage housing development.

(c) Interior walkways shall be a minimum of three feet and a maximum of five feet in width. (Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.135 Storage.

(a) Storage closets for each unit may be included as part of community buildings or added to garages.

(b) Storage for gardening supplies may be included as part of a community building or a separate small building designed to mimic the units.

(c) Garages shall not be used for storage except in addition to the parking of one owner's vehicle. (Ord. 798, Sec. 7 (Exh. 2), 2009)

14.46.140 Design Standards.

(a) Cottage Size. The intent of setting a unit size is to ensure the overall size of cottages remains smaller and causes less visual impact than standard sized single-family dwellings, particularly given the increased density of cottage dwellings, and to provide variety in cottage housing developments through a mixture of building sizes and footprints.

- (1) The total floor area of each cottage shall not exceed 1,500 square feet. No more than 25 percent of the total number of units shall be larger than 1,200 square feet.
- (2) The footprint of each cottage shall not exceed 1,000 square feet. The total square foot area of a cottage dwelling unit may not be increased. A note shall be placed on the title to the property for the purpose of notifying future property owners that any increase in the total square footage of a cottage is prohibited for the life of the cottage or duration of City cottage housing development regulations.
- (3) There shall be no minimum size requirements for the individual units, provided units meet the minimum livability standards as defined by Chapter 3 of the International Residential Code.
- (4) The second floor area cannot exceed 75 percent of the first floor area.
- (5) At least 25 percent of the cottages in each cluster shall have a gross floor area less than 1,000 square feet.
- (6) Cottage areas that do not count toward the gross floor area or footprint calculations are:
 - (i) Interior spaces with a ceiling height of six feet or less, such as in a second floor area under the slope of the roof;
 - (ii) Unheated storage space located under the main floor of the cottage;
 - (iii) Basements;
 - (iv) Attached unenclosed porches;
 - (v) Garages or carports; or
 - (vi) Architectural projections (i.e., bay windows, fireplaces or utility closets) no greater than 24 inches in depth and six feet in width.
 - (vii) The director may approve other exemptions similar in nature provided the intent of this section is met.
- (7) Plat or Plan Note Required. The total square footage of a cottage shall not be increased from its permitted size. A note shall be placed on the final plan or plat stating this limitation.

(b) Cottage Height and Roof Standards. The height of all units shall comply with Section [14.48.060](#), Building Height Limitations. In addition, the following standards shall apply to cottage housing developments and shall take precedence over conflicting standards in Section [14.48.060](#):

- (1) A cottage shall have a gable roof or a hipped roof. A cottage shall not have a flat roof. Dormers are allowed.
- (2) Maximum height of cottage units with a minimum roof slope of 6:12 shall be 25 feet, subject to all parts of the roof above 14 feet shall be pitched.

(3) Maximum height shall be 18 feet for cottages without a roof slope of 6:12 and for all accessory structures.

(c) Orientation of Cottages.

- (1) Each dwelling unit shall be oriented toward a common open area, and 65 percent of the units shall abut the common open area.
- (2) Each cottage shall be within 60 feet walking distance of the common open area.
- (3) Lots in a cottage housing development are not required to abut a public street.
- (4) Each unit abutting a public street (not including alleys) shall have a facade, secondary entrance, porch, bay window, or other architectural enhancement oriented to the public street.
- (5) Cottages shall be placed with a minimum intervening space between buildings of 60 feet, measured foundation to foundation across the common open space.

(d) Cottage Setbacks.

- (1) The minimum setbacks between all structures (including cottages, parking structures and community buildings) in a cottage housing development shall be 10 feet. Eaves may project into the required setback up to 18 inches.
- (2) The minimum cottage setback from interior roads in a cottage housing development shall be 15 feet.
- (3) All other minimum setbacks for all structures (including cottages, parking structures, and community buildings) in a cottage housing development shall be as provided for in the standards for the zoning district in which the cottage housing development lot is located and shall be subject to the International Residential Code.
- (4) No part of any structure in a cottage housing development (including but not limited to cottages, parking structures, and community buildings) shall be more than 150 feet, as measured by the shortest clear and open route, from legally compliant fire department vehicle access.

(e) Porches. The intent of this porch requirement is to create outdoor space in each cottage that is visually and physically connected to the common open area and to other cottages.

- (1) Cottage units shall have an unenclosed, covered front primary entry and porch. The front porch shall be oriented toward a common open area.
- (2) Covered porches shall have at least 80 square feet in area with no side shorter than eight feet.

(f) Private Open Space. At least 500 square feet per cottage of private open space contiguous to each cottage and for the exclusive use of the cottage resident is required and shall be oriented toward the common open area. Private open space is partly intended to enable diversity in landscape design.

(g) Basements. Cottages may have basements.

(h) Fencing and Screening. The intent of internal decorative fencing and screening is to delineate private yards and screen parking structures, community assets and unit walls. A cottage housing development shall internally be an open community sharing common areas. The intent of external

fencing and screening is to conceal the higher density development from adjacent lower density land uses.

- (1) Decorative fencing may be used for delineating private yards.
- (2) Fencing or shrubbery may be used to screen parking areas, community assets, and unit walls.
- (3) Fencing and shrubbery may not exceed 36 inches in height, except directly adjacent to a parking structure.
- (4) Chain link and solid fences shall not be allowed internally. Solid fencing is allowed on the exterior boundary, except bordering an external street.

(i) Exterior Design Standards for Cottages.

- (1) Purpose. It is the intent of this exterior design standards section:
 - (i) To ensure cottage design is based on a coherent architectural concept;
 - (ii) To ensure cottages possess architectural finish;
 - (iii) To ensure cottages contribute positively to the architectural character of the neighborhood; and
 - (iv) To provide flexibility in design and contrast among individual cottages, while assuring attention to design amenities.
- (2) Character Compatibility. Cottage housing developments shall utilize building and site design that promotes variety and visual interest and that is compatible with the character of the surrounding neighborhood.
- (3) Variety in Building and Site Design. Cottage housing developments shall avoid the repetitive use of the same combination of building size, styles, features, and site design elements within the entire residential development and between adjacent dwellings. Dwellings with the same combination of features and treatments shall not be located adjacent to each other.
- (4) Variety and Visual Interest. Cottage housing developments shall provide variety and visual interest by using various combinations of building elements, features, and treatments and variation in site design elements, in a manner that is compatible with the character of the surrounding neighborhood.
- (5) Site Design Requirements. The overall site design for all common areas must include a minimum of eight points from the following table:

Site Design of Common Areas (minimum of 9 points)	Points
Additional retention of trees or stands of trees consistent with, and	3 points

Site Design of Common Areas (minimum of 9 points)	Points
greater than required by, Section 14.76.120	
Low impact development (LID) features to address stormwater runoff and to promote infiltration such as permeable pavers, water retention facilities, rain gardens, etc.	3 points
Mixture of grass areas and garden areas	3 points
Pervious concrete or asphalt on walkways and/or driveway	2 points
Incorporate additional site and architectural features such as special paving, ornamental gate and/or fence, seating, planter boxes or pots, functional accent lighting, artwork near entry, and/or special landscape treatment with seasonal color, flowering trees, and trees with interesting bark or branching structure	1 point per type of feature

(6) Exterior Design Requirements. No blank walls are allowed, and each cottage in a cottage housing development must be designed to include a minimum of 38 points from the following table, including the specified minimum number of points from each category:

Totals by Category as Determined by Tables Below	Points
Facade	minimum of 12 points
Windows and doors	minimum of 10 points
Roof	minimum of 8 points

Totals by Category as Determined by Tables Below	Points
Landscaping and groundwork	minimum of 8 points
Facade (minimum of 12 points)	Points
Cedar shingle siding, board and batten, or horizontal lap siding (Wood or hardi-plank. Exposed siding must be between four inches and seven inches in width)	4 points
Change of plane of front elevation	3 points
Gable detailing	2 points
Exterior stonework, masonry, stone, rock, cultured, stone, woodwork, or brickwork	2 points
Three-tone paint on exterior walls trim and roof	2 points
Decorative gable vents	2 points
Architectural detailing on porch railings and posts	2 points
Gable detailing on porch roof	2 points
Bay window	1 point
Roof (minimum of 8 points)	Points
Architectural shingle roof	3 points

Roof (minimum of 8 points)	Points
Architectural metal roof (Must be commercial quality with hidden fasteners)	3 points
Gable dormer (Shall not also be used for gabled porch roof or porch roof overhang)	3 points
Gabled or modified porch roof	3 points
Porch roof overhang to cover stairs (Shall not also be used for a change of plane of front facade or as a gable dormer or gabled porch roof)	2 points
Soffit detailing (Exposed rafter tail painted or decoratively cut; soffit finished in shiplap or similar treatment)	2 points
Roof brackets	2 points
Rooftop cupola or weathervane	1 point
Windows and Doors (minimum of 10 points)	Points
Skylights or clerestory windows	3 points
Window placement offset for privacy	3 points
Mullioned windows (Minimum of two. Must be divided-lite windows with grillwork on the inside and outside of the window)	3 points
Window trim (Must include cornice molding, jamb molding, and sill for all windows)	2 points

Windows and Doors (minimum of 10 points)	Points
Decorative window(s) on front facade	2 points
Front door lights or sidelights, glass front doors, transoms, glass borders, or split front door	2 points
Front door trim (Must have cornice molding, parting bead, and plinth blocks)	1 point
Landscaping and Groundwork for Each Cottage's Private Area (minimum of 8 points)	Points
Additional retention of trees or stands of trees consistent with, and greater than required by, Section 14.76.120	3 points
Low impact development (LID) features to address stormwater runoff and to promote infiltration such as water retention facilities, rain gardens, etc.	3 points
Architectural fence around cottage (Not less than two, or more than three, feet high)	2 points
Pervious concrete or asphalt, or permeable pavers, on walkways	2 points
Front yard landscaping (Must include at least one dozen perennial bushes and/or trees native to the area or tolerant of local climate conditions. Landscaping does not include lawns)	2 points
Incorporate additional architectural features such as special paving, ornamental gate and/or fence, seating, planter boxes or pots, functional accent lighting, artwork	1 point per type of feature

Landscaping and Groundwork for Each Cottage's Private Area (minimum of 8 points)	Points
near entry, and/or special landscape treatment with seasonal color, flowering trees, and trees with interesting bark or branching structure	

(Ord. 798, Sec. 7 (Exh. 2), 2009)

Part III. Infill Development (NEW SECTION)

14.46.200 Purpose and Intent

The purpose of this section is to encourage the efficient development of underutilized residential parcels in areas that are primarily built out, where infill residential development should be encouraged. This section identifies conditions under which infill development is supported and relaxes certain development requirements to promote the efficient construction of infill development in appropriate areas of the city.

14.46.210 Applicability

(a) *Eligibility Criteria.* This chapter may be applied to development or redevelopment that meet all the following criteria:

(1) The lot is within one of the following zoning districts: R4, WR, R6 and R8-12;

(2) Adjacent properties abutting at least 50 percent of the non-street perimeter of the subject property (i.e., side and/or rear lot lines) are developed with single-family dwellings or higher intensity uses;

(3) The subject property is at least 125 percent of the minimum lot size for the underlying zoning district up to a maximum of one acre, not including those lands encumbered by critical areas; and

(i) If the infill development is made up of multiple parcels the maximum size shall be taken from the combined area of the parcels.

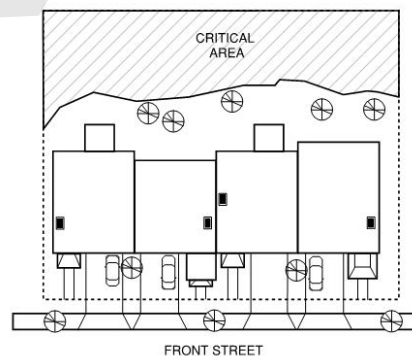
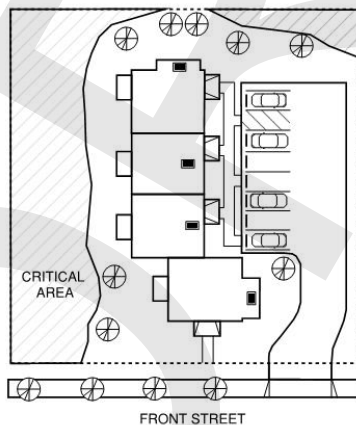
(4) The development or redevelopment creates a minimum of one new lot or dwelling unit.

14.46.230 Infill residential standards

(a) All other provisions of this title that would apply to a non-infill project shall apply to infill development except as specifically modified by this chapter.

(b) *Infill Land Division Standards - Reduction in Dimensional Requirements for Infill Residential Development.* Notwithstanding the dimensional development standard requirements found in the underlying residential zones of LSMC 14.48, property that is eligible for infill residential development pursuant to LSMC 14.46.210 shall be eligible for subdivision of land as follows:

- (1) Minimum Lot Area. Minimum lot area may be permitted at 80 percent of the minimum areas required in Chapter 14.48 LSMC for the underlying zone.
- (2) Minimum Lot Width. Minimum lot width may be reduced by 20 percent of the required minimum lot width of the underlying zone.
- (3) Developments that provide detached housing units 1,600 square feet or smaller shall be granted a 20 percent density bonus to the underlying zoning district.
- (c) Infill Development Standards. Property that is eligible for infill residential development pursuant to LSMC 14.46.210 shall be eligible for these additional development standards, provided all required utility infrastructure, access requirements, and street elements can be accommodated in accordance with the city design and construction standards.
 - (1) If the proposed project conforms to the average existing building lines or setbacks of adjoining structures, reduced front setbacks will be permitted. In no case, shall street setbacks be reduced for a garage or carport.
 - (2) Side setbacks for single-family units may be 5 feet per side.
 - (3) Lot Coverage Maximum. Maximum lot coverage can be increased by 10 percent over that allowed in the underlying zone.
 - (4) Parking. Attached dwelling units, with shared parking lots, located within a half mile of a transit center or if the bedroom count is XX or less will qualify for a reduced parking standard of 1.5 spaces required per unit.
 - (5) Attached dwelling units of up to four (4) units shall be allowed in single-family zones as infill development subject to the following lot size standards:
 - (i) Duplex lots shall be 125% of the minimum lot size of the underlying zone.
 - (ii) Triplex lots shall be 150% of the minimum lot size of the underlying zone.
 - (iii) Fourplex lots shall be 175% of the minimum lot size of the underlying zone.



- (iv) Up to four units may be provided in a garden / courtyard apartment with a minimum of two units per structure.

(d) Infill Design Standards. Property that is eligible for infill residential development pursuant to LSMC 14.46.210 shall adhere to the following design requirements. While creativity and variation in architectural design is encouraged, the purpose of these requirements is to ensure compatibility of infill development with the character of nearby existing residential structures.

(1) Building orientation on infill lots shall match the predominant orientation of other buildings along the street frontage.

(2) Parking. Infill developments shall comply with all parking standards pursuant to chapter 14.72 LSMC except as specifically modified by this chapter.

(i) Parking may be consolidated.

(ii) For single-family and townhome projects, the access and off-street parking shall be similar to the predominant character for existing development along the street frontage; however, a central parking lot at the rear or side of the development would be allowed.

(iii) For stacked apartment style projects, the primary vehicular access and off-street parking is preferred to be located to the rear or side of the proposed structures.

(iv) For garden / courtyard style apartments the parking must be on the side or rear of the development.

(3) Roofs on proposed infill residential structures shall be similar in slope, material, and style to existing surrounding development(s)-and shall incorporate-features compatible with existing surrounding development(s)

(4) Landscaping shall be provided along the perimeter of the development and parking lots to soften the transition between new and existing dwelling units when the new dwellings are different than the adjacent existing land use.

(i) Attached dwelling-units, including townhomes, stacked apartment and garden / courtyards shall provide a Type B screen as described in 14.76.040 LSMC.

(ii) Detached single-family infill projects are exempt from buffer landscaping adjacent to other single-family zoning districts.

(5) Integration with Natural Amenities. Natural amenities (views, mature trees, creeks, rock outcrops, and other similar features) should be preserved and integrated with the development to the maximum extent feasible. Clustering of lots/units and adjusting roadway configuration to integrate these features is encouraged to achieve these goals. Access and visibility to these natural amenities is encouraged.

(6) Horizontal building facades longer than 25 feet shall be treated to reduce building mass and visual bulk using-elements described in the Lake Stevens Design Guidelines for blank wall treatments.

(7) Attached dwelling units shall be design reviewed using the Multifamily Chapter of the Lake Stevens Design Guidelines.

(8) Additional requirements:

Garden / Courtyard Apartments

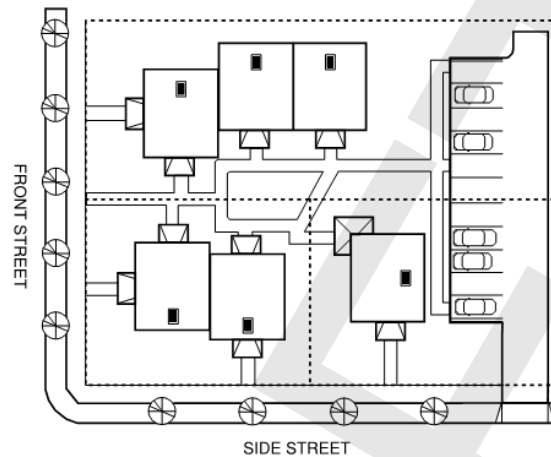


Figure (x): Multiple lots combined to create a garden courtyard project that includes a detached single family, duplex and triplex with consolidated parking in the rear of the development.

(i) Each dwelling unit must have a separate, ground-related entrance with entrances facing the shared open space.

(ii) Site Design

(A) Garden / courtyard projects shall provide architectural details on facades that face the courtyard and the public right of way.

(B) Garden / courtyard entries shall be well defined through the use of landscaping, ornamental fencing, or architectural features.

(C) Every unit shall have a covered entry from the courtyard.

(D) The internal garden / courtyard space of the development shall be defined through architectural features, buildings, or landscape, and include community amenities.

(E) A walkway from each dwelling unit shall be provided that connects the dwelling unit to the garden court and to the street. Connections through the parking area of the development do not count towards this requirement.

(F) Parking accessed from a street or lane shall be limited to one driveway with a maximum width as defined by the currently adopted EDDS.

(G) Garbage/recycling areas shall be consolidated and screened from public view.

Definitions & Graphics:

Garden/courtyard apartment: A residential development that shares a landscaped courtyard. The structure or structures are arranged around a garden court with parking typically consolidated and located to the side or rear of the development.

Part IV. Waterfront Multifamily

14.46.300 Purpose and Intent

The purpose of this section is to allow for a variety of housing options within the Waterfront Residential zone in a manner that does not diminish ecological functions of the shoreline. This section identifies conditions under which limited multifamily development including apartments, townhomes and condominiums are allowed and it also relaxes certain development requirements to promote the efficient construction of waterfront multifamily structures in appropriate areas of the city.

14.46.310 Applicability

(a) Eligibility Criteria. This chapter may be applied to development or redevelopment that meet the following criteria:

- (1) The lot is within the Waterfront Residential zone; and
- (3) The property has access to a collector or arterial; and
- (4) The lot has public utilities including water and sewer; and
- (5) The development must create a minimum of 3 dwelling units.

(b) Review Process

(1) Waterfront multifamily residential projects will be reviewed through the Administrative Conditional Use Permit process pursuant to Chapter 14.16C LSMC.

(2) Optional Public Meeting

(i) A public meeting may be requested by a person within 14 days of issuance of the notice of application. The request for a public meeting shall be made in writing and submitted to the Planning and Community Development Department. The notice of application materials shall include a statement that a public meeting may be requested.

14.46.320 Dimensional Standards

(a) All other provisions of this title and the currently adopted Lake Stevens Shoreline Master Program that would apply to a multifamily residential project shall apply to waterfront multifamily residential projects except as specifically modified by this chapter.

(b) Density. The residential density shall be a maximum of 12 units per acre.

(c) Multifamily in the waterfront residential will follow the height limitation required for waterfront residential (WR) as indicated in section 14.48, table 14.48-I LSMC.

(d) Setback standards for waterfront residential shall follow the standards listed for the High Urban Residential (R8-12) zone as indicated in section 14.48, table 14.48-I LSMC.

14.46.330 Waterfront Multifamily Design Standards and Guidelines

All waterfront multifamily projects shall comply with the adopted Lake Stevens Design Guidelines except as specifically modified by this chapter.

(a) Screening

(1) Multifamily projects adjacent to existing single-family homes must install a Type B screen as defined in LSMC 14.76.040.

(b) Parking

Waterfront multifamily projects shall comply with all parking standards pursuant to chapter 14.72 LSMC except as specifically modified by this chapter.

(1) Surface parking lots shall be located on the side or rear area of the structure. If consolidated structure parking is provided, side or rear loading entrances are preferred.

(3) For townhomes with direct access to a public street or internal road, individual driveways can be used to satisfy parking requirements.

(4) Garage entries should be designed to minimize its appearance and not detract from the entry of the building. Side loading garage entrances are preferred.

(i) When the garage faces the public right of way, blank garage doors shall be minimized using windows and or architectural detail such as a change of materials, colors or textures on different elements to provide articulation and character on the garage door.

(c) View Corridor

(1) Waterfront multifamily projects must maintain a minimum view corridor of 25 percent of the average parcel width.

(i) The view corridor must be adjacent to one of the two side property lines, whichever will result in the widest view corridor, considering the following in order of priority:

(i) Locations of existing view corridors;

(ii) Existing development or potential development on adjacent properties, given the topography, access and likely location of future improvements;

(iii) Locations of existing sight-obscuring structures, parking areas or vegetation that are likely to remain in place in the foreseeable future.

(3) The view corridor must be in one continuous piece.

(4) The following shall be permitted within a view corridor:

(i) Areas provided for public access, such as public pedestrian walkways, public use areas, or viewing platforms;

(ii) Parking lots for passenger vehicles and subsurface parking structures; provided, that the parking does not completely obstruct the view of the lake from the public right-of-way;

(iii) Structures, if the slope of the subject property permits full, unobstructed views of the lake over the structures from the public right-of-way;

(iv) Vegetation, including required vegetation screening, provided it is designed and of a size that will not obscure the view from the public right-of-way to the lake at the time of planting or upon future growth. Low growing, native vegetation is encouraged. In the event of a conflict

between required landscaping and view preservation, view preservation shall take precedence over landscaping requirements;

(v) Open fencing that is designed not to obscure the view from the public right-of-way to the lake.

(d) Waterfront Multifamily projects shall provide joint use community recreational facilities.

(e) Waterfront multifamily projects shall be limited to one dock to be held in ownership for the private use of all residences of the multifamily development.

2019

City of Lake Stevens Design Guidelines



City of Lake Stevens

10/22/2019

LAKE STEVENS DESIGN GUIDELINES

Table of Contents

PREFACE	1
I. EXPLANATION OF DESIGN GUIDELINES	2
A. What are Design Guidelines?	2
B. Where do the Design Guidelines Apply?.....	2
C. Structure of Design Guidelines.....	2
D. Alternative Methods to Achieve Design Compatibility	2
II. SITE ORIENTATION AND DESIGN	3
A. Pedestrian Orientation & Streetscape.....	3
B. Architectural Landmarks & Gateways.....	5
C. Plazas, Courtyards, & Seating Areas.....	6
E. Crosswalks & Intersections	8
F. Pedestrian Connections	9
G. Parking Lots	10
H. Screening of Trash & Service Areas.....	13
III. BUILDING DESIGN	14
A. Primary Orientation	14
B. Ground Level Details.....	15
C. Massing & Articulation.....	18
D. Architectural Character	19
E. Signs	22
IV. MULTIFAMILY NEIGHBORHOODS	25
A. Site Design.....	25
B. Parking and Access.....	27
C. Building Design.....	28
VI. SINGLE FAMILY DEVELOPMENT	32
A. Site Design.....	30
B. Building Design.....	30
VI. GLOSSARY & DEFINITIONS	3232

Figures

Figures 1 and 2 Show Pedestrian Zones and Pedestrian Amenities	3	Figure 33 Ground Level Weather Protection Features	15
Figure 3 Sidewalk Zones	3	Figure 34 Different Desirable Ground Level Details	16
Figure 4 Street Orientation and Site Landscaping	4	Figure 35 Storefront Window Transparency Along The Street	16
Figure 5 Preference For Location Of Drive-Through Uses .. ERROR! BOOKMARK NOT DEFINED.		Figures 36, 37, and 38 Different Blank Wall Treatments	17
Figures.6, 7, and 8 Illustrate Distinctive Gateway Treatments	ERROR! BOOKMARK NOT DEFINED.	Figures 39, 40, and 41 Illustrate Scale-Reducing Elements Through Vertical and Horizontal Articulation	18
Figure 9 Mixed-Use Building With Plaza Space At The Corner	6	Figures 42 (Commercial) and 43 (Office / Mixed-Use) Show Desirable Subarea Amenities	19
Figure 10 Pedestrian Open Space Within A Private Development	6	Figures 44 (Mixed-Use) and 45 (Office) Typify Desirable Design Concepts For Different Uses.....	19
Figures 11 and 12 Examples Of Lighting Fixtures	7	Figures 46 and 47 Demonstrate Use Of Materials and Windows To Enrich The Quality Of The Building	20
Figures 13 Pedestrian Scaled Lighting	7	Figure 48 Varied Roof Pattern Along The Street In An Office Building	21
Figures 14, 15, and 16 Illustrate Decorative Road Treatments	ERROR! BOOKMARK NOT DEFINED.	Figure 49 Different Roof Forms	21
Figures 17 and 18 Pedestrian Pathways And Connections.....	9	Figures 50 and 51 Show Creative Pedestrian- Oriented Signage Along The Street	22
Figure 19 Low Wall With Landscaping Along Street Edge	10	Figures 52, 53, and 54 Illustrate Desirable Freestanding Sign Elements.....	23
Figure 20 Raised Planter Along Street Edge	10	Figures 55 and 56 Examples Of High Quality Wall Sign and Pedestrian-Oriented Signs	24
Figure 21 Enhanced Landscaping Along Street Edge	10	Figure 57 Appropriate Interior Landscaping	25
Figure 22 Parking Lot Landscaping	11	Figure 58 Enhanced Perimeter Landscaping	25
Figure 23 Pedestrian Path Through A Parking Area.....	11	Figure 59 Inviting Outdoor Space.....	26
Figures 24 and 25 Show Multipurpose Landscape Areas For Screening and Stormwater Control.....	12	Figures 60 and 61 Examples Of Structured Parking Facilities.....	27
Figure 26 Structured Parking Along Street Edge	12	Figure 62 Varied Pitched Roof Forms.....	28
Figure 27 Screening Of Trash Area	13	Figure 63 Private Interior Open Spaces.....	28
Figure 28 Consolidated Meters Screened By Landscaping	13	Figures 64 and 65 Provide Examples Of Articulation and Modulation Along Street.....	29
Figures 29, 30, and Figure 31 Commercial Buildings Oriented Toward Pedestrian Spaces	14		
Figure 32 Covered Entrance	15		

PREFACE

As discussed in the Lake Stevens Comprehensive Plan, the city of Lake Stevens has created a framework to diversify the economy and housing stock throughout the city. The development and redevelopment projected to occur provides an opportunity to improve the visual character of the city.

The proposed land uses for each subarea will complement the other and provide new areas for shopping, services, employment, and housing for surrounding neighborhoods and the greater city. The Lake Stevens Center will function as a retail center with distinct districts envisioned to contain multi-level retail, restaurant, and entertainment opportunities for the community. In comparison, the 20th Street SE Corridor will provide employment opportunities and neighborhood level retail. Downtown Lake Stevens will provide for local shopping, dining, residential and recreational opportunities in the historic heart of the city. All areas will provide opportunities for diverse higher density housing options. As planned, the subareas will provide high-quality architecture and a unique revitalized community character.

The Design Guidelines will be used in conjunction with Title 14 of the Lake Stevens Municipal Code, specifically Chapter 14.16C LSMC. The development regulations provide the prescriptive standards, while the guidelines will provide options for developing aesthetically pleasing development.

City staff developed the Lake Stevens Design Guidelines in consultation with the city boards, elected officials, and an architect team. The guidelines were developed over several months and many meetings and community workshops. The following individuals and groups were instrumental in the preparation of the guidelines.

City of Lake Stevens Planning and Community Development Staff:

Russell Wright, Community Development Director
Karen Watkins, Principal Planner (former staff)
Rebecca Ableman, Planning and Community Development Director (former staff)

City Officials:

Design Review Board
Planning Commission
City Council

Consultant: LMN Architects / Crandall Arambula (revisions)

I. EXPLANATION OF DESIGN GUIDELINES

A. What are Design Guidelines?

Design guidelines encapsulate a jurisdiction's vision for the appearance of land uses or special areas by defining specific design criteria and augmenting development regulations. As envisioned, these guidelines will direct the physical attributes of the city, ensuring that sites and structures express unique, high-quality design while limiting "strip-like" and corporate architecture. In addition, the proposed design guidelines will help bridge development and natural amenities within the individual subareas – existing and anticipated – leading to a cohesive distinct subarea identity that reflect its location and function.

B. Where do the Design Guidelines Apply?

The City shall apply design guidelines, per Chapter 14.16C LSMC, to new construction and substantial alterations within Lake Stevens to reinforce the desired identity of the area and encourage the efficient use of developable land. The application of cohesive design guidelines will promote a consistent quality of development and support the goals and policies of the comprehensive plan.

All proposed development must follow the prescriptive requirements identified in the *Lake Stevens Municipal Code* (LSMC) and *Engineering Design and Development Standards* (EDDS), unless superseded by specific design guidelines. The design guidelines apply to new construction and substantial alterations. Following LSMC 14.16C.050, the Director will review applicable projects for consistency with these design guidelines.

C. Structure of Design Guidelines

The guidelines provide common design elements (e.g., site planning, building materials, storefronts, etc.) and best practices throughout the subareas and additional guidance for particular uses such as multifamily residential. Each design element includes an intent statement, followed by detailed descriptions of elements that provide the design review

criteria for decision makers. Each section may include conceptual examples and illustrations that identify the City's design expectations for site development and building construction.

The guidelines use imperative words to describe the implementation of design goals. The terms "shall" or "must" indicate that the requirement is mandatory; while, the terms "should" or "may" signify that there is flexibility in application. Regardless of which term is used, applicants must address the design goal in their project design. The structure of the guidelines enumerates design elements sequentially for ease of reference. Applicants should not interpret individual design elements as hierarchical; rather, each element is an option within a "menu" of options that will lead to design consistency.

D. Alternative Methods to Achieve Design Compatibility

The guidelines identify required elements and options for inclusion with each proposal. The City may consider alternative methods to achieve design compatibility, provided the applicant or project designer can demonstrate the following:

1. How the physical characteristics of the site or existing structure make strict compliance to the established design standard(s) and guideline(s) impractical;
2. How the proposed design modification equals or exceeds the established design standard(s) and guideline(s); and/or
3. How the proposed design is exceptional in the quality of detail, appearance or materials, and creates a positive relationship to other structures, views or open spaces in a manner that equals or exceeds the established design standard(s).

II. SITE ORIENTATION AND DESIGN

A. Pedestrian Orientation & Streetscape

Intent – Ensure that buildings enhance the community character and pedestrian environment

1. Pedestrian Oriented Zone – Commercial buildings shall be set as close as possible to the sidewalk, subject to LSMC 14.38.040, but provide enough space for pedestrian uses. Structures with a defined street orientation must provide a pedestrian area behind the sidewalk and edge of the building that includes at least two of the following elements to compliment the intended use:

- a. Accent lighting to accentuate key landscape and architectural features;
- b. Public artwork;
- c. Special paving, such as colored/stained concrete, brick, or other unit paver;
- d. Site furnishings, such as seating, benches, tables, or low seating walls, etc.;
- e. Outdoor dining areas; and
- f. Commercial buildings within the Downtown Subarea with a defined street orientation to Grade Road, 20th St. NE, Main Street and 18th St. NE must receive approval from the City for the design and construction of the pedestrian area behind the sidewalk and edge of building. City standards for sidewalk paving, lighting and street furnishings are required to preserve the continuity of the streetscape design for these roadways.

2. Street Landscaping – all developments must provide landscaping along the street appropriate to the applicable street network identified in the *Subarea Plan* and according to the City's *Engineering Design and Development Standards* (EDDS).

- a. Street trees must be planted in a tree well approximately every thirty feet on center, in the public amenity area, between the

sidewalk and street in commercial areas and along arterial and collectors.

- i. Street tree wells must include either decorative pervious pavers or ornamental grating level with the sidewalk.

- b. Full planter strips are allowed along residential streets.



Figures 1 and 2 show pedestrian zones and pedestrian amenities

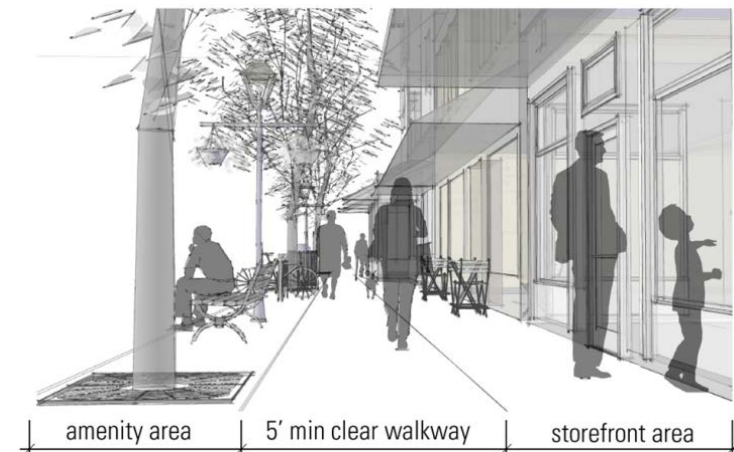


Figure 3 sidewalk zones

3. Setbacks

- a. Commercial buildings shall be set as close as possible to the sidewalk, but provide enough space for pedestrian uses and amenities, as described in Section II.A, subject to the following:
 - i. Distinctive entries or covered courtyards, located along a pedestrian-oriented facade, may touch the sidewalk for design purposes; and
 - ii. Buildings at the corners of intersections should be set back from the corner property lines to incorporate pedestrian amenities.

4. Site Landscaping – all developments are encouraged to provide distinctive landscape elements, comprised primarily of hardy, attractive, and easily maintained native Northwest plants, appropriate to the scale of development, within pedestrian-oriented areas that may include a mix of the following elements:

- a. Planter beds that integrate standard planted materials along with perennials and/or annuals to provide seasonal color;
- b. Planters or large pots with small shrubs and seasonal flowers;
- c. Hanging baskets;
- d. Special features such as rock walls, hardscape, boulders, water features; and/or
- e. Developments within the Downtown Subarea with a defined street orientation to Grade Road, 20th St. NE, Main Street and 18th St. NE must receive approval from the City for the design and construction of the pedestrian area behind the sidewalk and edge of building. City standards for sidewalk paving, lighting and street furnishings are required to preserve the continuity of the streetscape design for improvements to these roadways.

5. Drive-through Uses

- a. Uses that require drive-through lanes shall provide adequate vehicle queuing space outside the public right-of-way, but on-site in vehicular circulation aisles.

- b. Drive-through lanes shall be located along secondary and rear facades, but cannot be located between the building and the public right-of-way, unless another intervening building(s) exists between the drive-through and public right-of-way and adequately screens the drive-through;
- c. Two drive-through lanes shall be permitted for the specific business being served by the drive-through lane, with only one drive-through lane allowed in the Main Street District;
- d. Access to the drive-through shall be provided only from an associated parking area; direct access to a drive-through from a project entry drive aisle or from a public or private road shall not be allowed; and
- e. One of the methods identified in Section II.G.I.b must screen drive-through uses.



Figure 4 street orientation and site landscaping / Figure 5 preference for location of drive-through uses



B. Architectural Landmarks & Gateways

Intent – Promote distinctive architectural landmark structures at key commercial intersections

1. Structure – developments situated at the intersection of two arterial streets or an arterial street and a collector street shall include an enhanced structure on the corner to mark that location as an architectural landmark.

To achieve this effect, the structure's vertical dimension shall be at least 25 feet. The structure may incorporate functional space, but may be merely decorative. Landmark structures should include at least two of the following features:

- a. A tower;
- b. A distinctive roof form;
- c. A pergola, trellis or arcade;
- d. Public art with a valuation of at least 0.5% of the total construction cost;
- e. Over-sized windows; and/or
- f. One of the landscape elements from II.A.4.

Within the Downtown Subarea, developments need not include an enhanced corner structure as an architectural landmark. Adjacent buildings are intended as 'background' to the natural environment and North Cove Park. Development should fit in with qualities of the new development that are not in conflict or competition with the qualities of architecturally significant neighboring buildings and architectural design elements within North Cove Park,



Figures 6, 7 and 8 (above) illustrate distinctive gateway treatments

C. Plazas, Courtyards, & Seating Areas

Intent –Create a variety of usable and interesting open spaces within private development for pedestrian use

1. New or renovated buildings shall provide plazas, courtyards, or other pedestrian spaces at or near their main entrances.
2. Retail Centers or business parks under common ownership, where the primary orientation is not a commercial street, may provide a central combined plaza or other pedestrian open space, easily accessible at or near their main entrances.
3. Pedestrian spaces should be a minimum of one square foot of plaza per 100 square feet of building area.
4. Plazas, courtyards and other pedestrian spaces should include at least one of the landscape elements from II.A.4.
5. Plaza or courtyard should include public seating, such as benches, tables, or low seating walls. When public seating is provided, the area must contain at least three feet of seating or one individual seat per 100 square feet of the plaza or courtyard.
6. Covered plazas or partially covered plazas are encouraged to allow year-round use.
7. New or renovated buildings within the Downtown Subarea along Main Street and 18th Street NE shall provide plazas, courtyards, or other pedestrian spaces at or near their main entrances with designs approved by the City. City standards for pavement, lighting and furnishings are required to preserve the continuity of the streetscape design established by the City for improvements to these roadways.



Figure 9 mixed-use building with plaza space at the corner



Figure 10 pedestrian open space within a private development

D. Lighting

Intent – Ensure that lighting reinforces the design concept, contributes to the streetscape character, and does not disturb adjacent developments

1. Street Lights

- a. Pedestrian-scaled lighting, generally below 16 feet, is required along streets and in plazas and courts.
- b. Use city-approved street light fixtures along street frontages.
- c. Provide complementary lighting fixtures throughout the subarea, that enhance the area's architecture and character, including but not limited to pathway, accent, bollards, parking lot, and wall mounted light fixtures.



Figures 11 (left) and 12(right) examples of lighting fixtures

2. Site Lighting

- a. Accent lighting may be incorporated in design to draw attention to special building and/or landscape features.
- b. Up-lighting on trees and provisions for seasonal lighting are encouraged.
- c. Exterior lighting fixtures shall be high quality, incorporate architectural detail, and maintain a pedestrian-scale that enhances the site's architecture and character.



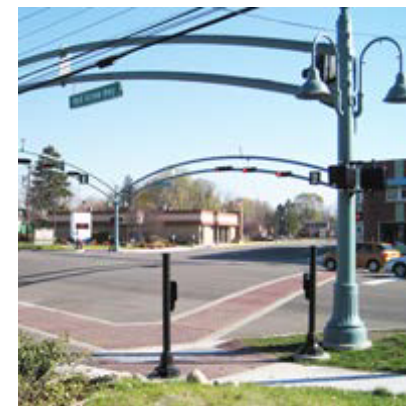
Figures 13 pedestrian scaled lighting

E. Crosswalks & Intersections

Intent – Enhance pedestrian safety by consolidating driveways, while providing for adequate vehicular and service access

1. Crosswalks & Intersection Treatments

- a. Major intersections where two arterial streets or an arterial street and a collector street intersect shall use different materials and textures from the adjacent street paving (e.g., stamped or stained concrete, decorative pervious pavers, etc.) to demarcate crosswalks.
- b. To increase area wide aesthetic appeal, intersection control features, such as raised islands, dividers, etc. must be treated in the following manner:
 - i. When the feature is paved, it must be paved in a different material and texture than the adjacent street paving (e.g., stamped or stained concrete, decorative pervious pavers, etc.); or
 - ii. When the feature is not paved, it must provide special landscaping that may integrate planters with perennials and/or annuals, rock walls, boulders, water features, and/or accent lighting with standard planted materials.
- c. Within the Downtown Lake Stevens Subarea, the design of all intersections, crossing and intersection control features must receive approval from the City to preserve the continuity of the streetscape and intersection design established for improvements to these roadways.



Figures 14, 15 and 16 above illustrate decorative road treatments

F. Pedestrian Connections

Intent – Create a network of safe and attractive pedestrian linkages that connect buildings, pedestrian spaces, and parking areas

1. Pedestrian pathways

- a. Provide clearly defined and convenient pedestrian pathways not less than five feet wide in the following locations:
 - i. Between public rights-of-way and building entrances;
 - ii. Between parking lots and building entrances;
 - iii. Between adjacent developments;
 - iv. Where a transit stop abuts a site include a pedestrian walkway from the main entrance to the transit stop; and
 - v. On sites abutting vacant or underdeveloped land, provide connections for future pathways and sidewalks.
- b. Pedestrian connections should be clearly defined in a combination of at least two of the following ways:
 - i. Six-inch vertical curb;
 - ii. Trellis;
 - iii. Special railing;
 - iv. Bollards;
 - v. Special paving;
 - vi. Low seat wall and/or other architectural features;
 - vii. Pedestrian scale lighting, bollard lighting, accent lighting, or combination thereof; and/or
 - viii. Continuous landscape area (minimum three-foot width) on at least one side of the walkway, except where the walkway crosses vehicular travel lanes.



Figures 17 (above) and 18 (below) pedestrian pathways and connections



G. Parking Lots

Intent – Reduce the visual impact of parking lots through landscaping and/or architectural features; Maintain pedestrian visibility and security; and Encourage parking structures

1. Parking Lot Configuration & Screening

- a. Locate parking lots behind buildings, when possible.
- b. Where parking lots remain in front of or beside buildings, parking lots shall be screened adjacent to the right-of-way with one of the following treatments:
 - i. Low walls made of concrete, masonry, or similar material not to exceed a total height of three feet, within a minimum five-foot landscape bed that contains a mix of trees and shrubs per Section 14.38.070 LSMC; and
 - ii. Raised planters made of concrete, masonry, or similar material not to exceed a total height of three feet including planter and landscape material that contains a mix of trees and shrubs per Section 14.38.070; and
 - iii. A minimum 10-foot wide landscape buffer per Section 14.38.070.



Figure 19 low wall with landscaping along street edge

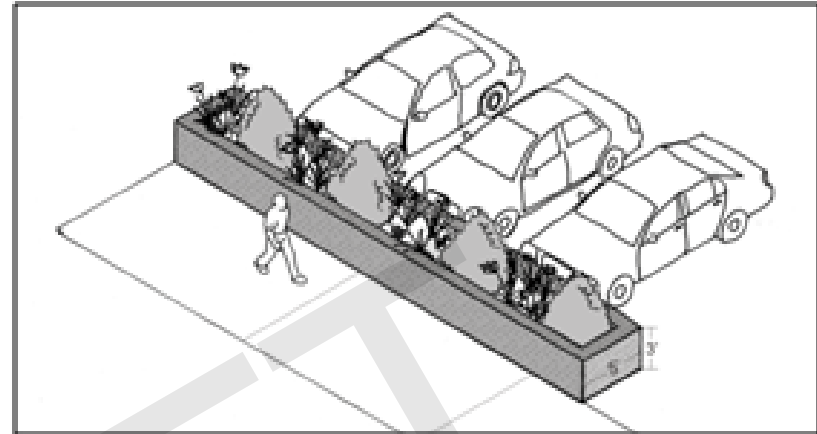


Figure 20 raised planter along street edge



Figure 21 enhanced landscaping along street edge

- c. Fencing around parking lots shall be allowed if the following conditions are met:
 - i. The fence does not exceed a maximum height of six feet and any portion higher than three feet must be 75% transparent;
 - ii. The fence compliments the material or architectural style used in the development; and
 - iii. Chain link fencing, coated or uncoated, shall not be used on any street frontage, adjacent public sidewalk or adjacent to a residential or pedestrian area, but may be allowed in service areas not visible to the public.

2. Parking Lot Landscaping

- a. Provide landscaping within all parking areas to reinforce circulation patterns, especially at entrances, the ends of drive aisles, and along pedestrian walkways and streetscape.
- b. Provide a mix of evergreen and deciduous trees and shrubs, annuals and perennials, and groundcover to provide multi-seasonal interest, color, and texture as a unifying design element to frame human-made elements with a natural backdrop.
- c. Encourage the use of hardy, attractive, and easily maintained native Northwest plant material to conserve water.
- d. As feasible, it is strongly encouraged that all developments consider using required landscape areas to augment the developments stormwater system with Low Impact Development techniques, such as rain gardens as seen in the city's EDDS document.



Figure 22 parking lot landscaping



Figure 23 pedestrian path through a parking area



Figures 24(above) and 25 (below) show multipurpose landscape areas for screening and stormwater control



3. Parking Structures

- a. Ground level parking structures shall complement the architecture of the building and cannot dominate the ground level of street frontages or primary facades and must be screened from view by at least one of the following:
 - i. Screen exterior walls with architectural details, such as banding, a frieze, cornice, trellis, reveal, decorative metal artwork, or similar;

- ii. Provide a minimum five-foot wide landscape area along the length of the parking structure that includes the elements of Section 14.38.070 LSMC.
- iii. Wrap the front of structured parking areas with active building spaces, such as retail storefronts to blend in with other buildings; and
- iv. Excavate structured parking areas, so that living or retail space above is brought closer to ground level.



Figure 26 structured parking along street edge

- b. Within the Downtown Subarea, parking structures along Main Street & 18th Street NE (fronting North Cove Park) shall have active ground-floor uses such as retail. Parking structures on 18th Street NE (east of Main Street) shall be behind or attached to commercial uses fronting 18th Street NE. Where active uses are incorporated into a structure they are allowed a 10-foot setback for outdoor seating, display or landscaping.

Parking structures shall be designed with flat floors around the exterior when visible from the street. Vehicle access shall include an internal two-way ramp with one-way circulation around the perimeter. No dead ends are allowed. No vehicular access to a parking structure is allowed along Main Street or 18th Street NE (west of Main Street).

H. Screening of Trash & Service Areas

Intent: Screen trash, service, utility, and mechanical areas from public view in pedestrian or residential areas

1. Service Areas

- a. Locate service areas away from primary pedestrian areas, such as near the rear of a building or off an alley, when possible.
- b. Loading and service areas shall not face any residential district, public street or plaza space; unless no other location is possible.
- c. Consolidate garbage/recycling dumpsters.
- d. Screen all visible service, loading and trash collection areas by a combination of plantings and architectural treatments.
- e. Acceptable screening methods include:
 - i. A masonry or wood enclosure that reflects the primary building's architecture, including but not limited to consideration of proportion, color, texture, and materials (chain link fencing with complementary colored slats are acceptable on gates);
 - ii. Five-foot wide landscape screen per 14.76.040(a)(2); or
 - iii. Other treatment approved by the City.

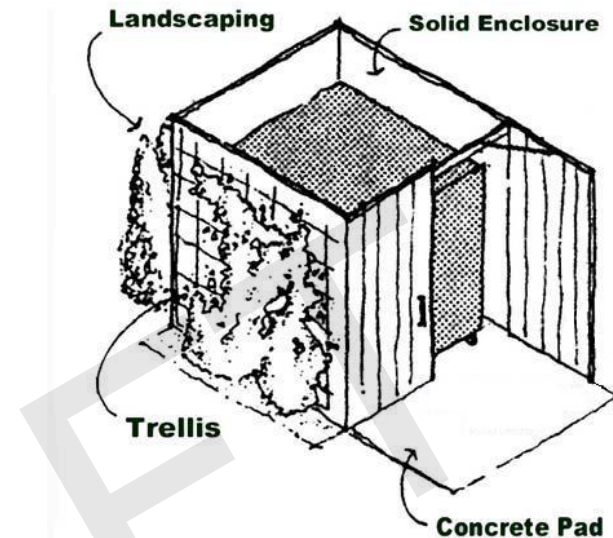


Figure 27 screening of trash area



Figure 28 consolidated meters screened by landscaping

III. BUILDING DESIGN

A. Primary Orientation

- a. Orient windows, main entrances, and other principal building elements toward the street¹ to strengthen the pedestrian-oriented environment and street front pattern.
- b. Storefronts, windows, merchandise, and other aspects of business activity should be visible to people traveling along streets or along primary facades inside shopping centers.
- c. Buildings, landscaping, and other public amenities (e.g., accent lighting, outdoor dining areas, drinking fountains, distinctive paving, public art and/or water features, etc.) should be the predominant site features, rather than parking lots.
- d. Buildings/businesses facing a public street on one side and a parking lot, pedestrian pathway, and/or street on other sides, are strongly encouraged to provide a secondary entry from the parking lot, pedestrian pathway, or alley.



Figures 29 (left), 30 (above), and 31(below) commercial buildings oriented toward pedestrian spaces



¹ Private lanes or principal drive aisles inside shopping centers shall be considered streets for design purposes.

B. Ground Level Details

Intent – Enhance building facades and entrances to increase the visual ground-level appeal; Ensure that entrances and primary facades are easily identifiable, protected, and accessible from streets, sidewalks, and parking areas; and Provide a visual connection between activities inside and outside of buildings.

1. Entrances

- a. Principal building entrances shall be visible from the street or primary façade and marked by at least one of the following elements:
 - i. Large entry doors;
 - ii. Recessed entrance;
 - iii. Protruding entrance; or
 - iv. Portico, arcade, or like.
- b. Principal building entrances should be further enhanced with a change in material, color, or texture.

2. Weather Protection

- a. Principal building entrances and primary facades shall incorporate weather protection with a minimum depth of five feet) such as awnings, canopies, pergolas, etc. that meet the following requirements:
 - i. The weather protection features shall extend along a minimum of 75% of the ground floor façade;
 - ii. The vertical dimension between the underside of a canopy and the sidewalk or entry pathway shall be at least eight feet and no more than 12 feet; and
 - iii. Plastic or similar low-quality materials are not allowed for weather protection features.



Figure 32 covered entrance



Figure 33 ground level weather protection features

3. Facade Details

- a. Principal building entrances and primary facades of commercial and mixed-use buildings shall project a pedestrian-friendly design by including at least three of the following elements:
 - i. Kickplates and transoms for storefront windows;
 - ii. Projecting window sills;
 - iii. Pedestrian scale signs;
 - iv. Plinths, pedestals, or similar features;
 - v. Seasonal hanging baskets supported by ornamental brackets;
 - vi. Pedestrian-oriented lighting; and
 - vii. Architectural details that may include ornamental tile work medallions, or similar.
- b. Windows:
 - i. Storefront windows shall cover approximately 75 percent of the façade, between two feet and eight feet above, grade where the primary façade fronts a commercial street to retain visual continuity with the street.
 - ii. Within retail centers and in business parks, where the primary orientation is not a commercial street, structures should include storefront windows as integral design elements with consideration to form and function.
- c. When a building has a public secondary façade, the secondary façade shall include the following elements:
 - i. Visible and easily accessible entries, architecturally related to the main entry;
 - ii. Weather protection over entries;
 - iii. Storefront windows, between two feet and eight feet above grade, covering approximately 50% of the portion of the

façade at entries; and

- iv. At least two of the elements in section III.B.3.a.



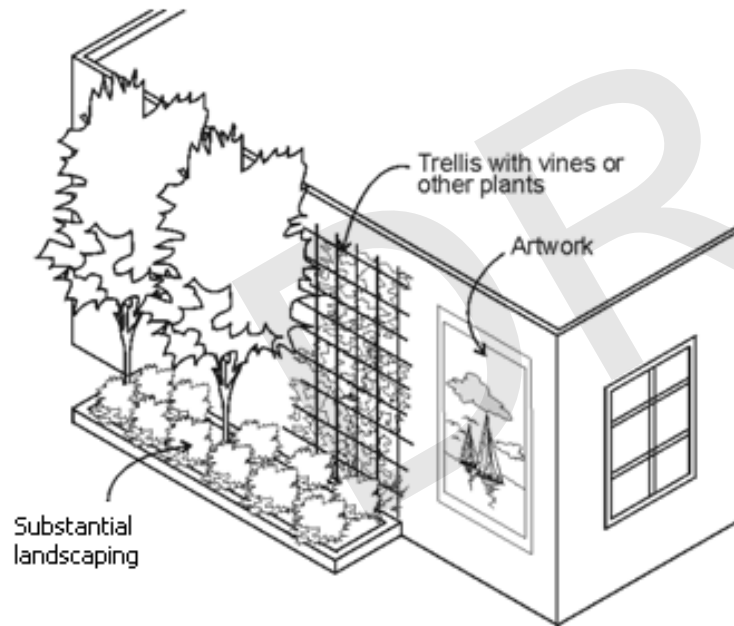
Figure 34 different desirable ground level details



Figure 35 storefront window transparency along the street

4. Blank Wall Treatments

- a. Blank walls longer than 30 feet facing streets or visible from pedestrian or residential areas shall incorporate at least two of the following:
 - i. Substantial landscaping that may include trees, shrubs, ground cover and/or planters or trellises with vines or similar vegetation adjacent to the wall;
 - ii. Architectural detailing, reveals, contrasting materials or other special visual interest;
 - iii. Integrated artwork, such as bas-relief or sculpture;
 - iv. Display windows; and
 - v. Other treatment approved by the City.



Figures 36 (left), 37(above) and 38 (below) different blank wall treatments



C. Massing & Articulation

Intent – Reduce the apparent bulk of buildings and facades and maintain human scale architecture

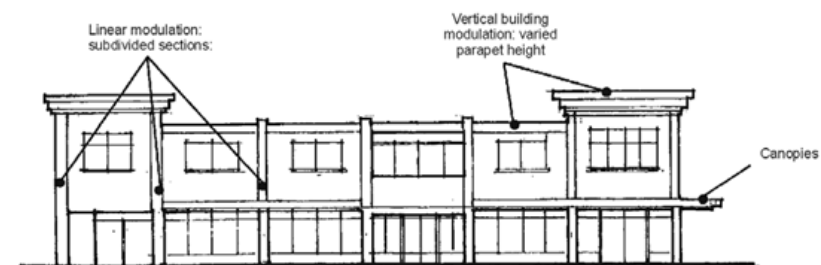
1. Massing

- a. Buildings above 30 feet in height must provide a defined building top, middle, and base.
 - i. The base will include distinct architectural features, masonry, and colors. For the Downtown Subarea, colors should use natural earth tone colors and emphasize materials in their natural form where possible.
 - ii. The middle of the building will include a change in materials or color, or inclusion of distinct windows, balconies, step-backs and signage.
 - iii. The top of the building will emphasize a distinct profile or outline with elements such as a projecting parapet, cornice, upper level setback or pitched roofline.

2. Articulation

- a. Horizontal building façades shall include articulation, at least every 30 feet, along façades that face streets and/or where the primary entrance is oriented to a parking lot to visually divide the façade with at least three of the following methods:
 - i. Varied building heights, roof forms, and orientation;
 - ii. Changes in building material;
 - iii. Changes in building color;
 - iv. Different window types, including bay windows; and/or
 - v. Project, recess, and/or offset portions of the façade to a minimum depth 18 inches with a width of four feet.

Figures 39 (top right), 40 (middle right), and 41 (bottom right) illustrate scale-reducing elements through vertical and horizontal articulation



D. Architectural Character

Intent – Provide well-designed buildings that use high-quality materials that highlight subtle and refined design elements to enhance the visual character of the district

1. Design Concept

- a. Establish vibrant contemporary urban districts that use high-quality, modern building materials and methods to create a visual identity that is distinct from historic architectural styles.
- b. Create a varied, non-homogenous set of buildings within each neighborhood and throughout the district.
- c. Architectural design for commercial and mixed-use buildings should minimize corporate architecture.
 - For example, some fast food franchises have specific architectural features that reinforce their identity.
 - Buildings that function as signs are discouraged because they are difficult to adapt to other future uses.



Figures 44 (above – mixed-use) and 45 (below –office) typify desirable design concepts for different uses



Figures 42 (left – commercial) and 43 (left – office / mixed-use) show desirable subarea amenities



2. Building Materials

- a. Construct buildings with durable, high-quality materials that enhance the character of the area:
 - i. Building façades should be composed predominantly of durable materials such as decorative masonry (but not flat concrete block) wood siding, and/or quality materials resembling wood, stone or masonry siding;
 - ii. Incorporate metal cladding, concrete, glass, tile as well as natural materials as secondary materials to increase aesthetic appeal;
 - iii. Tilt-up construction is allowed, when exposed concrete is finished with other materials, design patterns and colors compatible with surrounding buildings;
 - iv. Change finish materials, colors, or textures on building elements to provide further articulation, add variety, and define building details or even functions; and
 - v. Limit the use of low-quality, less durable materials with high life-cycle costs, such as plywood sheathing, “T-111”-like siding, and vinyl siding for exterior cladding.
 - vi. No more than three types or methods of cladding are to be used on a building.

Within the Downtown Subarea use colors and material palettes that complement the natural environment of hillsides, rivers/creeks and the lake. Use natural earth tone colors and materials in their natural form. Warm neutral color schemes of gray and white are encouraged for buildings using stone, concrete or stucco. Warm tans and browns are recommended for buildings utilizing brick and wood.

The richness of color and texture of the materials available in the Northwest shall be stressed by layering cool and warm materials to create a well-rounded palette. Cool materials include steel, concrete, glass and white/gray/black brick. Warm materials include natural brick and wood. Materials like metal panel, concrete and brick can be warm or cool for contrast.

3. Windows

- a. Consider multi-paned window fenestration (windows with several panes separated by mullions).
- b. Consider incorporating window trim that differs in material, provides a contrasting color to the building and/or incorporates projecting window sills.



Figures 46 (above) and 47 (below) demonstrate use of materials and windows to enrich the quality of the building



4. Rooflines

- a. Include a variety of roof slopes, details, materials, and configurations.
 - i. Provide dormers, stepped roofs, gables, or other elements to reinforce the modulation or articulation for storefront development or to break up larger buildings.
 - ii. Buildings with pitched or sloping roofs shall have a minimum slope of 4:12 and a maximum slope of 12:12.
- b. Commercial buildings with flat roofs shall be architecturally treated or articulated with a parapet wall, combined with ornamental molding, entablature, frieze, cornice or other architectural detail to create a prominent edge when viewed against the sky.
- c. Cornices shall be made of a different material and color than the predominate siding of the building.



Figure 48 varied roof pattern along the street in an office building

5. Screening Rooftop Equipment

- a. Use low profile or recessed mechanical units on rooftops.
- b. Screen rooftop mechanical and communications equipment from the ground level of nearby streets.
- c. Screen mechanical and communications equipment with architectural features, such as an extended parapet wall or other integrated elements.
- d. Integrate mechanical and communication equipment into the design of the roofs and buildings.

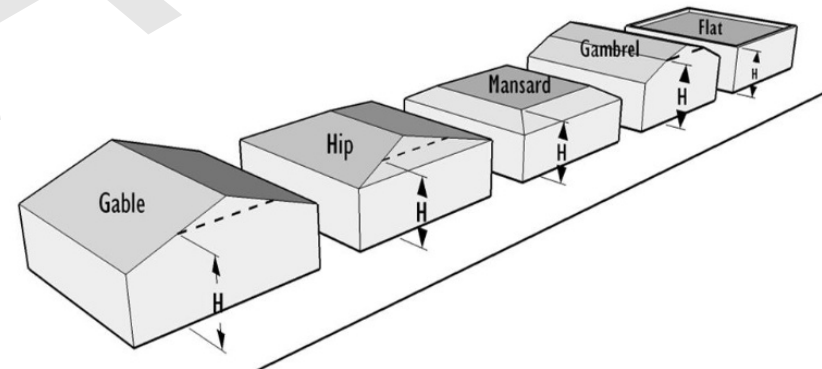


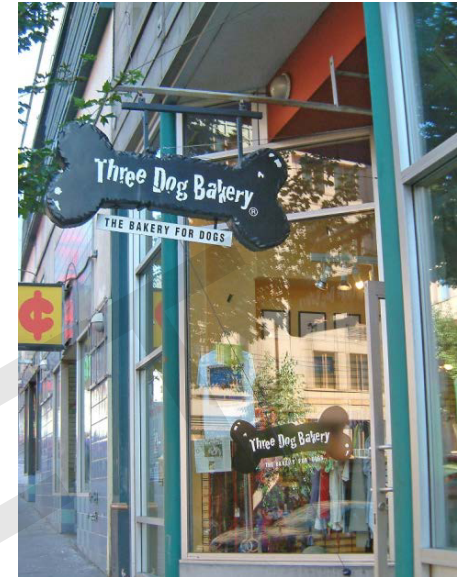
Figure 49 different roof forms

E. Signs

Intent – Encourage creative and unique sign designs to ensure signs complement the design concept, and are not principally oriented to automobile traffic

1. Creativity and Quality Design

- a. Signs should be highly graphic in form, expressive and individualized.
- b. Signage must include design and materials, consistent with the design and architecture of the primary building(s).
- c. Signs should use clear, bold graphic symbols and logos.
- d. Signs should convey the product or service offered by the business in a bold, graphic form.
- e. Projecting signs or suspended signs, supported by ornamental brackets, oriented toward pedestrians are strongly encouraged where allowed.
- f. Signs shall not be roof mounted or extend higher than the roof edge, parapet, or exterior wall.
- g. Signs fabricated out of mixed-media, including metal reverse-illuminated letters, illuminated individual letters, signs etched or cutout of solid material, such as wood or brass and illuminated from behind are preferred.
- h. Cabinet and plastic sheet type signs are discouraged and subject to design approval.



Figures 50 (above) and 51 (below) show creative pedestrian- oriented signage along the street



2. Freestanding Signs

- a. All freestanding signs are subject to the following restrictions:
 - i. Freestanding signs that are low and generally horizontal in form are preferred;
 - ii. All freestanding signs must sit on a substantial base constructed out of brick, rock, masonry, aggregate, treated concrete or similar material that extends a minimum of 12-inches out of the ground;
 - iii. Freestanding signs must include design and materials, consistent with the design and architecture of the primary building(s).
 - iv. Freestanding signs must be surrounded by low shrubs, ground cover and/or seasonal flowers to create visual interest and seasonal color; and
 - v. Monument signs in commercial areas can be internally illuminated or externally lighted, but in other areas, particularly residential, external illumination is required.



Figures 52 (left), 53 (above), and 54 (below) illustrate desirable freestanding sign elements



3. Pedestrian-Oriented and Wall Signs

- a. All pedestrian-oriented and wall signs are subject to the following restrictions:
 - i. Pedestrian-oriented signs should be smaller in scale than those oriented to passing traffic;
 - ii. Signs projecting from facades or are suspended over walkways or sidewalks are preferred in mixed-use districts;
 - iii. Signs shall not cover architectural features such as building trim, or ornamentation including areas between vertical piers or columns, blank areas on a gabled roof, or upper reaches of a false-fronted building
- b. Wall signs must be integrated into the building's architecture and tenant layout by at least one of the following means:
 - i. Wall signs must be centered above the business' entrance;
 - ii. Wall signs must fit within the architectural features of the building, such as being centered on a recessed panel or area specifically designed for signage;
 - iii. Sign aligned within a major building element such as centered under a roof gable or special corner feature; and
 - iv. Other measures acceptable to the city that meets the intent of these guidelines.



Figures 55 (above) and 56 (below) examples of high quality wall sign and pedestrian-oriented signs



IV. MULTIFAMILY NEIGHBORHOODS

Intent – Reinforce the residential character of multifamily developments; and Create usable areas such as plazas, courtyards, and other outdoor spaces with robust landscaping.

A. Site Design

1. Orientation

- a. Orient building entrances to public streets, within the confines of the site characteristics, to enhance the character of the street that include the following:
 - i. Direct entries and access to the sidewalk on exterior buildings including to the public sidewalk;
 - ii. Pedestrian walkways or paths to every unit;
 - iii. A minimum of five-foot front landscaping that may include a mix of lawn, trees, shrubs, and seasonal flowers, subject to LSMC 14.38.070, between the building and sidewalk; and
 - iv. Decorative features, such as trellises, benches, special lighting, boulders, etc are encouraged between the building and sidewalk.
- b. Provide a frontage character compatible with existing neighborhoods, as appropriate.

2. Landscaping

- a. Use landscaping to unify the overall site design and to reduce the visual impact of multifamily developments and provide usable outdoor space for residents.



Figure 57 appropriate interior landscaping



Figure 58 enhanced perimeter landscaping

- i. Provide internal landscaping, in areas of the site not otherwise developed, comprised of native plants, with a mix of lawn, planting beds, trees and shrubs, annuals and perennials, rock features, water features, and/or accent lighting.
- ii. Retain existing native or desirable mature vegetation
- b. Encourage the use of hardy, attractive, and easily maintained native Northwest plant material to provide multi-seasonal interest, color, and texture.
- c. Integrate stormwater features into the landscape as attractive site amenities, not merely, as utilitarian features.

3. Outdoor Spaces

- a. Provide a combination of both private and common outdoor spaces visible and accessible to residents large enough to provide functional leisure or recreational activity.
 - i. Common outdoor spaces shall be a minimum of 20 percent of the site with a minimum width of 20 feet. To maximize usability, multifamily developments should combine common open spaces into larger areas.
 - ii. Common outdoor spaces used to meet these guidelines shall not be located within required buffer areas.
 - iii. Do not locate outdoor spaces adjacent to dumpster enclosures, loading/service areas or other incompatible service areas.
 - iv. Open spaces should be oriented to receive sunlight, when possible.
 - v. Taller mixed-use structures may provide roof top outdoor spaces.
 - vi. Provide lighting within outdoor spaces to provide visual interest as well as an additional security function.
- b. Common outdoor spaces shall provide at least three of the following amenities to accommodate a variety of ages and activities:

- i. Site furnishings (benches, tables, bike racks, etc.);
- ii. Picnic areas;
- iii. Patios, plazas, atriums, or courtyards;
- iv. Tot lots and play fields;
- v. Gardens;
- vi. Open lawn; and/or
- vii. Sports courts, such as tennis or basketball courts.



Figure 59 inviting outdoor space

- c. Provide each dwelling unit with a private outdoor space that may include balconies, yards, decks, terraces, and patios not less than 50 square feet with no dimension less than five feet. Within the Downtown Subarea, upper floor balconies are not required.
- d. Ground level open spaces are subject to the following standards:
 - i. Screen private open spaces with berms, low walls, fences, hedges, and/or landscaping;
 - ii. Limit walls, hedges, and fences to a maximum height of 42

- inches that is no more than 60% opaque; and
- iii. Walls or fences must integrate with the architecture of the building and add visual interest in detail, materials, or color of the feature.
 - iv. Within the Downtown Subarea, ground-level street fronting units with individual doors accessing the street shall have stoops or entry areas setback from the sidewalk and utilize landscaping, low walls or decorative fencing to provide a level of privacy between dwellings and the sidewalk. The use of solid walls or solid fencing greater than 42 inches is prohibited.

B. Parking and Access

Intent – Reduce the impact of parking facilities on the streetscape and neighboring properties

1. Limit shared ingress and egress lanes to one lane for every 300 linear feet of street frontage or one lane per lot if the frontage is less than 300 feet.
2. Preferred Parking:
 - i. Side, rear, or internal for stacked apartments or condominiums using surface lots or structures or providing carports or garages;
 - ii. Surface lots must follow the elements of Section II.G;
 - iii. First level from streets for townhomes. Front yard parking aprons or pullouts are allowed if no alternative exists; or
 - iv. Within the Downtown Subarea, no immediate driveway access to a parking structure is allowed from Main Street.
3. Carports and detached garages shall incorporate pitched roofs of a design similar to the principal structure; minimize blank garage doors; and provide architectural details on the garage door or structure.
4. Attached carports and garages shall incorporate pitched roofs of a design similar to the principal structure or recess garage doors from structures; minimize blank garage doors; and provide architectural details on the garage door or structure.



Figures 60 (above) and 61 (below) examples of structured parking facilities



5. Ground level parking structures should be screened from view by the following methods:
 - i. Screen exterior walls with architectural details, such as banding, a frieze, cornice, trellis, decorative metal artwork, or similar; and
 - ii. Provide a minimum five-foot wide landscape area along the length of the parking structure that includes the elements of LSMC 14.38.070.

C. Building Design

Intent – Maintain the residential scale and character of neighborhoods and project an image of quality

1. Pitched Roof Forms

- a. Residential structures are encouraged to use gabled roofs to emphasize vertical proportions and create modulation.
- b. Incorporate pitched roof forms having slopes between 4:12 and 12:12.
- c. Alternate dormers and rooflines to reinforce roofline modulation.
- d. Within the Downtown Subarea, mixed-use residential buildings with gabled or flat roofs are appropriate.

2. Design to Increase Privacy

- a. Provide designs to maximize privacy from adjacent yards and residences.
 - i. Locate windows high on walls & stagger placement of windows on adjacent buildings (use sight-obscuring glass, when design cannot practically minimize privacy impacts.
 - ii. Set balconies back at least 10 feet from side or rear property lines.
 - iii. Fences used to separate private and public spaces shall not exceed 42-inches in height.



Figure 62 varied pitched roof forms



Figure 63 private interior open spaces

3. Architectural Character & Scale

- a. Use lines and rhythms to create a human scale streetscape by including a mix of vertical and horizontal elements as expressed by bays, belt lines, doors and windows.
- b. Modulate building facades along the public street at least every 30 feet by projecting or recessing portions of the façade at least four feet.
- c. Residential structures shall emphasize single-story massing elements using architectural features such as porches and bays, dormers, etc. as seen from the street.
- d. Residential structures are encouraged to change materials, colors, and/or textures on different elements to provide further articulation and additional variety and character.



Figures 64 (above) and 65 below provide examples of articulation and modulation along street



VI SINGLE FAMILY DEVELOPMENT

Intent- to provide standards for residential character and variety within single family developments that promotes recreation, safety, and good design.

A. Site Design

1. Building Orientation

- a. To encourage a dynamic streetscape lots should be designed to have varied front setbacks from the street that include minimum and maximum setbacks
- b. Primary home entries should face the public street

2. Landscaping

- a. The placement and amount of landscaping for new and existing developments should complement the architecture on site. Large, mature plantings should be used to mitigate the scale of large structures.
- b. When possible, significant natural vegetation should be preserved and incorporated in the site design and drought tolerant plants should be used when new landscaping is required.

3. Outdoor Spaces

- a. Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.
- b. Encourage the use of outdoor space by providing dedicated private open space for each dwelling unit.

B. Building Design

Intent- to provide visual variety within single family developments that provide welcoming safe entry for pedestrians from the sidewalk and street.

1. Roof Design

- a. Break up large roof masses through the inclusion of dormers, gables, or changes in elevations that are consistent and complement the primary structure and building style.
- b. A variety of roof forms and styles is encouraged.

2. Building Modulation

- a. Provide modulation through offsets or materials along the front façade greater than 25-feet wide

3. Primary Facade

- a. Primary building entrances should be located on the front facades of residence and should be clearly identifiable and visible from the street.
- b. Emphasizing pedestrian entrance to the house fronting the public street or lane through the construction of a front porch or other entrance features emphasized by distinct architectural features, varied materials, windows, and rooflines from the public way.
- c. All home design shall include offsets forward of the garage that define the living area or entry of the house or include other elements including but not limited to using windows, contrasting colors, materials or other architectural features to soften the appearance of garages.
- d. Ensure that the primary frontage of new development includes inviting and appropriate landscaping from the public way that compliments the structure

2. Architectural Character & Scale

- e. Architectural style shall remain consistent throughout structure
- f. A variety of appropriate materials that match the to the style of the structure
- g. New development shall be designed to transition between existing development in building size and massing

DRAFT

VI GLOSSARY & DEFINITIONS

Arcade – An arched covered passageway along a building facade open to the street frontage.

Architrave – The lowest division of an entablature resting immediately on the capital of the column in classical architecture and/or the molding around a rectangular opening, such as a door.

Articulation – Articulation means a design emphasis placed on particular architectural details, materials, changes in building plane (recessed or extended from building surface), contrast in materials, or decorative artwork.

Awning – Awning means a roof-like cover extending over or in front of a structure (as over the deck or in front of a door or window) as a shelter.

Balcony – Balcony means an outdoor space built as an above-ground platform projecting from the wall of a building and enclosed by a parapet or railing.

Bay Window – Bay window means typically a multi-paned window protruding from the main exterior wall.

Belt Course – A course of masonry that extends the length of a façade and visually stands out from the rest of the wall by color, texture, pattern, projection or recess.

Blank Walls – Any wall or portion of a wall over four feet in height at ground level that is longer than 30 feet and has a surface area of 400 square feet of vertical surface without a window, door, or building modulation or other architectural feature

Bollard – A low post made of stone, concrete, or metal or other material that delineates a pedestrian area or walkway.

Column – A supporting pillar that typically consists of a round shaft, a capital, and a base

Cornice – Cornice means in classical architecture, the top, projecting section of an architrave, also any projecting ornamental molding along the top of a building, wall, arch, etc., finishing or crowning it.

Courtyard – Courtyard means a partially enclosed landscaped space.

Cupola – Cupola means a small dome or other shaped roof projection crowning a roof or turret.

Deck – Deck means an outdoor space built as an above-ground platform projecting from the wall of a building or above an occupied building floor.

Decorative Paving – Decorative paving means any paving surface that includes colored, textured, or stamped cement concrete, in addition to decorative unit pavers, bricks, tiles, or pavers, but does not include colored or stamped asphalt.

Eaves – Eaves mean the under-part of a sloping roof overhanging a wall.

Entablature – Entablature means the upper part of an order, consisting of architrave, frieze, and cornice.

Façade – Any face of a building.

Fenestration – The design, proportioning, and disposition of windows and other exterior openings of a building.

Frieze – Frieze means the middle division of an architrave, between the architrave and cornice; usually decorated but may be plain.

Frontage – Frontage means the portion of a parcel typically abutting a public street.

Gateway building – Developments situated at the intersection of two arterial streets or an arterial street and a collector street shall include an enhanced structure on the corner to mark that location as an architectural landmark.

Ground Level Transparency – Windows made of clear glass.

Landscaping – Area that is planted with vegetation in the form of trees, shrubs, grass, annuals, perennials, and groundcover that may include accent elements such as sculpture, fountains or pools, accent lighting, benches, or other outdoor furnishings; or decorative pavers.

Low-Impact Development – A variety of building techniques and systems designed to lessen the environmental impact of construction activities including but not limited to bio-retention cells, engineered landscapes, green/vegetated roofs, pervious/porous pavement, drought-tolerant landscapes, tree retention, etc.

Main Entrance – Entrance of the building, which is most architecturally prominent and contains operable doors.

Modulation – Stepping back or projecting portions of a building face within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure's exterior walls.

Mullion – Solid vertical strip or other upright that divides parts of a window.

Native Landscaping – Landscaping that exclusively uses any mix of trees, shrubs, ground cover, and flowers indigenous to the Pacific Northwest.

Parapet – Low wall or railing designed to architecturally protect or enhance the edge of a roof or balcony.

Pergola – Covered walk in a garden, or along a commercial frontage, usually formed by a double row of posts or pillars with beams above and covered with climbing plants.

Pilaster – Rectangular or round column or shallow pier attached to a wall constructed to coordinate with the style of the building.

Plinth – A continuous, horizontal portion of a wall that is closest to the ground or an adjacent walkway typically made of different material than the wall above it that extends out slightly from the wall above it.

Portico – Covered entrance of a building especially in classical architecture.

Projecting Sill – Window sill that extends at least 3 inches out from the wall in order to create a shadow line below the window.

Public Art – Element or feature whose primary purpose is to express, enhance, or illustrate aesthetic quality, feeling, physical entity, idea, local condition, historical or mythical happening, or cultural or social value visible to the public. Examples of artwork include sculpture, bas-relief sculpture, mural, or unique specially crafted lighting, furniture, pavement, landscaping, or architectural treatment.

Reveal – A long, narrow, vertical or horizontal recess in a wall intended to create a shadow line and/or diminish the scale of the wall.

Scale, Architectural – Perceived relative height and bulk of a building relative to that of neighboring buildings.

Scale, Human – Perceived size of a building relative to a human being. A building is considered to have “good human scale” if there is an expression of human activity or use that indicates the building's size.

For example, traditionally sized doors, windows, and balconies are elements that respond to the size of the human body, and therefore are elements in a building that indicate a building's overall size.

Site Furnishings – Elements intended to be used by pedestrians, such as benches, bollards, waste receptacles, drinking fountains, chairs, tables, and telephone booths.

Special Landscape Treatment – Landscaping provided in addition to any planting required by code that typically includes elements such as seasonal flowers, unique specimen trees, artistically designed retaining walls, accent lighting, and/or sculpture.

Street Right-of-Way – Land dedicated primarily to the movement of vehicles and pedestrians and providing for primary access to adjacent parcels. Secondly, the land provides space for utility lines and appurtenances and similar components.

Streetscape – Visual character of a street as determined by various elements such as structures, greenery, open space, views, etc.

Transom – Horizontal glass plane, typically encased in a wood or metal frame that separates the storefront from the upper facade.

Trellis – A frame supporting open latticework used as a screen or a support for growing vines or plants.

Trim – Framing or edging of openings and other features on a facade or indoors. It is usually of a color and material different from that of the adjacent wall surface.

Turret – A very small and slender tower.

Vertical Articulation – Visual division of a building's facade into distinct sections or elements to reduce the apparent horizontal length of the facade.

Visually Permeable – Allows for views through the element or feature, although such views may be partially obstructed or obscured.