

Exhibit 9



*Planning & Community Development
Type II Decision Recommendation
Administrative Design Review
Public Meeting: July 11, 2019 at 6:00pm*

Costco Design Review

LUA2019-0081

A. PROJECT DESCRIPTION AND REQUEST

On April 30, 2019, an Administrative Design Review application was submitted to the City of Lake Stevens for the wholesale warehouse of Costco. The application was determined complete on May 23, 2019. The initial site plan and design review package proposed to build a new 169,243 square foot building, with 802 parking stalls and a 30-pump fueling facility. Design application materials include a design review application, site plan, landscape plan, color building elevations, design guideline checklist, and a design review narrative. The applicant also applied for site plan review and planned action certification at the same time as design review. The applicant requested administrative deviations to signage and lighting standards on November 8, 2019.

Subsequent to the initial submittal, the applicant revised the site plan and design package several times. On March 23, 2020, the applicant provided the final revised project materials for a 158,721 square foot building with 836 parking stalls and a 30-pump fueling facility.

The construction plans for the project include new public roads (91st Ave SE, 24th St SE, and S. Lake Stevens Road) and a stormwater detention pond. WSDOT is building a roundabout at the SR-9/24th St. SE/S. Lake Stevens Rd. intersection. The project is located in the Lake Stevens 20th St SE Corridor Subarea.

B. GENERAL INFORMATION

1. Date of Application: April 30, 2019
2. Applicant/Primary Contact: Steve Bullock on behalf of Costco Wholesale, MG2 Architects
3. Property Owner: Costco Wholesale
4. Project Location: SW Corner of the SR-9 and 20th St SE Intersection, Lake Stevens
5. Parcel Number(s): 00457000002102, 00457000002201, 00457000002304, 00457000002401, 00457000002501, 00457000002502, 00457000002503
6. Land Use Designation: Commercial
7. Zoning Designation: Commercial District
8. Public Utilities and Services Provided by:

Water:	Snohomish County PUD	Gas:	Puget Sound Energy
Sewer:	Lake Stevens Sewer District	Cable TV:	Comcast
Garbage:	Allied Waste/Waste Management	Police:	City of Lake Stevens
Stormwater:	City of Lake Stevens	Fire:	Lake Stevens Fire District
Telephone:	Frontier	School:	Lake Stevens School District
Electricity:	Snohomish County PUD	Hospital:	Providence Hospital

C. ANALYSIS ¹

1. Application Process:

- a. The city received a Design Review application and associated materials (**Exhibit 1**) for an Administrative Design Review application on April 30, 2019.
- b. Per Ordinance No. 1055, design review is an administrative decision issued by the Planning and Community Development Director after administrative review and a public meeting.
- c. A public meeting was held on July 11, 2019.
- d. The applicant provided revised project materials on October 31, 2019 (e.g., site plan, landscape plan, building and fuel canopy elevations, revised narrative, and a photometric plan) and a response memorandum in response to the city's review comment letter of July 9, 2019 (**Exhibit 2**).
- e. The applicant also requested administrative deviations to signage and lighting standards on November 8, 2019 (**Exhibit 3**).
- f. On March 23, 2020, the applicant provided the final revised site plan (**Exhibit 4**).
- g. This decision meets the requirements of LSMC 14.16B.235 as the written record for the administrative approval.

CONCLUSION: The application meets the procedural requirements for Type II applications as established in Title 14 of the LSMC.

2. Public Notification:

- a. The Notice of Public Meeting was mailed to property owners within 300 feet of the site, posted on the subject property and city bulletin boards, and published in the Everett Herald on or around June 26, 2019 (**Exhibit 5, 5a**).
- b. The public meeting was held on July 11, 2019.
- c. The city received numerous public comments on the project in response to the site plan and design review notice of application and public meeting. All public comments received can be found online at the following link and by reference in the combined land use decision: <https://www.lakestevenswa.gov/380/Current-Planning>. Please see this report and the associated public comments exhibit in the report for further detail and response.

CONCLUSION: The application meets the noticing requirements for Type II applications established in Chapter 14.16B.225 LSMC and Ordinance 1055.

3. Design Review: Pursuant to Ordinance 1055, the proposal is subject to the City of Lake Stevens Subarea Design Guidelines, revised 2018. This section summarizes applicable design guidelines and how the proposal complies with those guidelines.

II. Site Orientation and Design

- A. **Pedestrian Orientation and Streetscape** – This section is intended to ensure that buildings enhance the community character and pedestrian environment.

Findings: The proposed building is located along the south property line adjacent to 24th St SE. It is oriented towards the building's parking lot and primary internal access road.

¹ Project analysis includes staff findings and conclusions based on a review of current materials applicable to the project.

The building does not have a defined street orientation but will include a pedestrian area at the entry to the building. Landscaping will be located between the sidewalk and the building. The building will have multiple materials, colors and textures together with attractive landscaping to enhance the pedestrian experience along the sidewalk. Pedestrians will be able to access the building via an ADA ramp leading up from the new sidewalk along 24th St. SE to a sidewalk paralleling the building. Sidewalks along 91st Ave SE lead directly to the building.

The entry into the building on the northeast corner of the building includes a pedestrian plaza with a covered entry canopy (providing weather protection) and surrounding courtyard. The entry canopy provides benches. See **Exhibit 1**.

Street landscaping is proposed between the new 10-foot wide multi-use path and the new roads of 24th St SE and 91st Ave SE. The landscape strip will include street trees, shrubs, and ground cover. The parking lot and perimeter of the site contains extensive landscaping using native Northwest plants.

The fuel facility is in the far northeastern corner of the site in order to ensure adequate queuing space for vehicles outside of the public right-of-way.

- B. Architectural Landmarks and Gateways** – This section is intended to promote distinctive architectural landmark structures at key commercial intersections.

Findings: N/A, this project will not be located directly on the corner of SR-9 and 24th St SE. The building will be set back approximately 600 feet or more from the intersection and thus is not applicable.

- C. Plazas, Courtyards and Seating Areas** – This section is intended to create a variety of usable and interesting open spaces within private development for pedestrian use.

Findings: Retail centers under one common ownership where primary orientation is not a commercial street, may provide a central combined plaza at the main entrance. Costco's entry canopy and surrounding courtyard complies with this requirement. It provides a 7,500-sf entry plaza that includes a covered arcade of approximately 4,000 sq. ft. and 84 lineal feet of benches integrated into the structure of the arcade.

- D. Lighting** – This section is intended to ensure that lighting reinforces the design concept, contributes to the streetscape character, and does not disturb adjacent developments.

Findings: The project integrates city-approved street light fixtures along the street frontages. All site and building lighting fixtures will provide down lighting with full cut off shields consistent with the architectural style of the building and the site. The parking area will provide lighting to enhance visibility and safety.

The fixtures as proposed, are higher than allowed by LSMC 14.38.080(c) and require administrative deviation per LSMC 14.16C.120(c). The applicant requested an administrative deviation to this lighting standard on November 8, 2019. The applicant is requesting a 4.5-foot increase to this standard as it will result in fewer total fixtures being needed on-site and a reduction in the amount of energy needed to run them. They are proposing full cut off shields on the fixtures to mitigate any light impacts from the taller fixtures.

The applicant provided a photometric plan with their initial submittal to document light levels on adjacent properties and ensure compliance with city code. The city requested additional information from the applicant for lighting levels on the north end of the site,

measured five feet or beyond from an exterior property line per LSMC 14.38.080(b)(2)(iii). The revised photometric plan provided on October 31, 2019 demonstrated compliance with the above section of code.

Staff recommends approval of this deviation request as the photometric plan demonstrates that taller fixtures will not have adverse lighting impacts to adjacent properties.

- E. **Crosswalks and Intersections** – The intent of this section is to enhance pedestrian safety by consolidating driveways, while providing for adequate vehicular and service access.

Findings: The development contains a crosswalk at the intersection of the vehicular entrance to the store and the S. Lake Stevens Road Connector along 24th St. SE. The design and construction of 24th St. SE is being designed in collaboration between the city and the applicant. The crosswalk is being demarcated with plastic crosswalk lines and the intersection will be signalized.

- F. **Pedestrian Connections** – This section is intended to create a network of safe, attractive pedestrian links that connect buildings, pedestrian spaces, and parking areas.

Findings: A new 10-foot sidewalk will be located between 24th St SE and 91st Ave SE and the project site. Pedestrian paths are proposed between the street and the building that guide pedestrians to the building entry. Two additional pedestrian paths ranging in width from 15 feet wide to 8 feet wide (where landscaping is adjacent) will connect the parking lot areas to the entry plaza and building entry.

The onsite pedestrian pathways will use a mixture of six-inch vertical curbs, special paving, bollards, and landscape strips to demarcate pedestrian connections.

- G. **Parking Lots** – This section is intended to reduce the visual impact of parking lots through landscaping and/or architectural features; Maintain pedestrian visibility and security; and Encourage parking structures.

Findings: The proposed parking lot is located behind the building and along portions of 24th St SE and 91st Ave SE. Where the parking lot is adjacent to the public road a significant landscape buffer is proposed to screen the parking. The grade of the site also creates additional separation from the adjacent road due to the parking lot being above the adjacent right-of-way. No fencing is proposed except for in cases where it is required at the tops of retaining walls for safety purposes.

The proposed landscape plan reinforces circulation patterns on site. It consists of a mixture of evergreen and deciduous plants that are northwest native species and drought tolerant. City code requires that parking areas be broken up by trees/plantings every 10 stalls as per LSMC 14.38.060, Note 5d (4) and (5). The applicant provided additional planting islands in their revised plans to achieve compliance with this requirement.

- H. **Screening of Trash and Service Areas** – This section is intended to screen trash, service, utility, and mechanical areas from public view in pedestrian or residential areas.

Findings: The consolidated solid waste, compactor, and loading areas, are proposed to be in the southwest corner of site. The location is located near 91st Ave SE and will be screened by a 15-foot-wide landscape bed. Costco's approach for dealing with garbage is to use compactors that are entirely enclosed and filled via chutes from inside the building. Trucks will pick them up and return them. No garbage will be visible to the public.

III. Building Design

- A. **Primary Orientation** – This section is intended to ensure that buildings are oriented on the property to promote a pedestrian friendly and interesting public realm.

Findings: The building entry faces the parking lot and will be visible from SR-9. The Tire Center and covered entry both use glass roll up doors which should be visible to people traveling along the adjacent streets.

- B. **Ground Level Details** – This section is intended to enhance building facades and entrances to increase the visual ground-level appeal; Ensure that entrances and primary facades are easily identifiable, protected, and accessible from streets, sidewalks, and parking areas; and Provide a visual connection between activities inside and outside of buildings.

Findings: Costco's main entry includes an entry canopy with large doors that are raised above the main entrance creating an arcade and providing intuitive wayfinding for potential customers. Rich materials, colors and textures are proposed to further emphasize the main entrance.

The primary facade incorporates weather protection at the principal building entrance but does not extend along 75% of the ground floor façade. The latter is logical for commercial fronting along a street or including multiple tenants but does not seem reasonable for a wholesale warehouse and thus is determined to be not applicable.

Several elements are used around the perimeter of the Costco warehouse to give the building pedestrian friendly design features. A storefront is used at the main entry. Plinths and pedestals are used around the building to create a pedestrian scale, building lighting and architectural details are also used to enhance the pedestrian experience.

The primary façade does not front a commercial street or include multiple tenants so the 75% requirement for storefront windows does not apply. However, the entry canopy and Tire Center both use glass roll up doors to create the storefront presence described in the guidelines.

The south and west elevations were initially determined to be blank walls. As such the applicant broke the building façade into multiple pieces to minimize its impact. Pilasters and steel trellises have been proposed in the revised building elevations to break up the expanse of blank walls on the south and eastern sides of the building as they are most visible from public view. Substantial landscaping using trees and significant shrubs help interrupt views of these facades. The southern elevation is also separated from the walking trail with a six-foot-tall retaining wall further minimizing the impact of that elevation on pedestrians. Multiple materials, colors and textures are proposed to create an interesting architectural composition along these street front elevations.

- C. **Massing and Articulation** – This section is intended to reduce the apparent bulk of buildings and façades and maintain human scale architecture.

Findings: N/A, the building is less than 30 feet in height.

The proposed building design includes multiple building heights and changes in building materials. Although the changes don't happen every 30 feet, proposed intervals are appropriate for the building size and design. Changing these elements every 30 feet on a building this size would result in a building that is overly busy from a design perspective.

- D. **Architectural Character** – This section is intended to provide well-designed buildings that use high-quality materials to highlight subtle design elements and enhance the visual character of the district.

Findings: The proposed building is a high-quality building using modern materials that will be energy efficient and sustainable in both its construction and operation.

- E. **Signs** – This section is intended to encourage creative and unique sign designs to ensure signs complement the design concept and are not principally oriented to automobile traffic.

Findings: Costco is only proposing wall signs and directional signs. No freestanding or projecting signs are proposed. Three Costco signs on the warehouse are proposed and the fuel facility will have two signs. Additional informational/directional signage is also proposed. The site signage complies with all the design guidelines and code standards with the exception of the maximum area of 192 square feet for a wall sign for business areas larger than 15,001 gross square feet as required by 14.38.100.

The applicant applied on November 8, 2019 for consideration under LSMC 14.68.124 whereby the director can relax certain requirements for signs. Staff requested additional information from the applicant with the 1st round of review to process their request for consideration; namely a response to the provisions of 14.68.124, materials showing the dimensions of the signage, and to what extent they exceed the maximum area allowed by code.

The applicant provided the information needed by staff above on November 8, 2019. One projected wall sign on the façade is over the allowed sign square footage of 192 sq. ft; however, the total square footage of on-site signage is less than the total maximum for the site allowed by the municipal code. The total maximum allowed is 585 sq. footage of signage and the applicant proposes a total of 486 sq. ft. Additionally, the style and architecture are integrated into the entire development of the site and are aesthetically complimentary of the property. Based on the above, staff recommends approval of this request.

The development's signs are not being permitted at this phase of the process except conceptually. Conformance to the city's zoning code, design guidelines, and the recommended conditions of design review approval will be required upon issuance of the sign permit.

CONCLUSION: As conditioned, the proposed design is in keeping with the guidelines as well as the standards and intent of the Commercial District Zone. As described in this report, the development will provide frontage improvements and improvements to the site as a whole and will add to the visual attractiveness of this district. The application meets the intent of the applicable design guidelines in the City of Lake Stevens Subarea Design Guidelines, revised 2018.

D. RECOMMENDATIONS AND CONDITIONS

City staff recommends approval of Permit No. LUA2019-0081 **subject to the following conditions:**

1. All development shall generally conform to the application materials, Exhibits 1 through 4. Any changes to the application shall require prior approval from the Planning and Community Development Department.
2. Any development signage is required to meet the subarea design guidelines unless otherwise modified by this decision and will require a separate permit and administrative approval prior to installation.
3. The applicant and/or successor shall comply with all applicable local, state and federal regulations.

CITY OF LAKE STEVENS, DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

Prepared By

Melissa Place

April 10, 2020

Melissa Place AICP, Planner

Date

E. EXPIRATION AND APPEALS

Per LSMC 14.16B.245, approval of the application shall expire one year from the date approval was final, unless significant action proposed in the application has been physically commenced and remains in progress pursuant to LSMC 14.16A.250.

Interested parties may appeal the decision by submitting a written appeal form and required fees to the City Clerk **within 14 days of the date of decision**. The appeal must identify the specific aspect(s) of the decision being appealed, rationale for the appeal, and any supporting evidence, pursuant to LSMC 14.16B.710. The Hearing Examiner is the appeal body for administrative decisions.

F. EXHIBITS

1. Design Review Application Package, dated April 30, 2019
2. Revised Design Review Application Package, dated October 31, 2019
3. Administrative Deviations Request, dated November 8, 2019
4. Revised Site Plan and Landscape Plan, dated March 23, 2020
5. Notice of Application and Public Meeting

Distributed to the Following Parties:

1. Steve Bullock, Applicant/Primary Contact
2. Peter Kahn, Property Owner



Planning and Community Development
 1812 Main Street, P O Box 257
 Lake Stevens WA 98258
 Phone Number (425) 622-9430



To Be Completed By Staff

Date of Application: _____
 Staff Initials: _____
 Permit Number: LUA 2019-0081

TYPE I AND II – ADMINISTRATIVE DECISIONS LAND USE DEVELOPMENT APPLICATION

CHECK ONE

TYPE I

- Administrative Design Review
- Administrative Modification
- Boundary Line Adjustment
- Change of Use
- Code Interpretation
- Fireworks Stand
- Floodplain Development
- Master Sign Program
- Minor Land Disturbance
- Reasonable Use Exception
- Shoreline Exemption
- Sign
- Temporary Use
- Type I Other: _____

TYPE II

- Administrative Conditional Use
- Binding Site Plan
- Major Land Disturbance
- Planned Action Certification
- SEPA Review
- Shoreline Substantial Development
- Short Plats
- Short Plat Alteration
- Short Plat Vacation
- Site Plan Review
- Type II Other: _____

All Shoreline Permits Require Floodplain Review

Property Information	Site Address: NW and SW corners of 24 th and Hwy 9		
	Assessor Parcel No: 00457000002102, 00457000002201, 00457000002304, 00457000002401, 00457000002501, 00457000002502, 00457000002503	Property Square Feet: 1,599,087	Acres: 36.71
	Land Use Designation: Commercial	Zoning: CD (Commercial District)	
	Number of Buildings on Site/: 2	Number to be Retained: 0	
	Existing Impervious Surface Area: <10,000 sf	Proposed Impervious Surface Area: +/- 960,000 sf	
Applicant	Name/Company: Steve Bullock – MG2 Architects		
	Address: 1101 2 nd Ave	City/State/Zip: Seattle, WA 98101	
	Phone: 206-962-6614	Applicants relationship to owner: Architect	

	Fax:	Email: <u>steve.bullock@mg2.com</u>
Primary Contact	Name/Company: Same as above	
	Address:	City/State/Zip:
	Phone:	Email:
	Fax:	

Property Owner	Name/Company: Peter Kahn – Costco Wholesale	
	Address: 999 Lake Dr	City/State/Zip: Issaquah, WA 98027
	Phone: 425-313-6052	Email: peterk@costco.com
	Fax:	

Project Description	Grading Quantities	Cut:	Fill:
	Proposed project/land use (attach additional sheets if necessary):		
	The project will include: new public roads (91 st Ave E, 24 th St SE, S Lake Stevens Rd), a detention pond and a 170,000 square-foot membership wholesale/retail warehouse with approximately 850 parking stalls and a 30 fuel position vehicle fueling facility.		
	Gross Floor Area of Existing and Proposed Buildings: Gross floor area of existing buildings are less than 4,000 sf. They will all be removed. Costco's proposed warehouse, 170,000 sf, will replace them.		

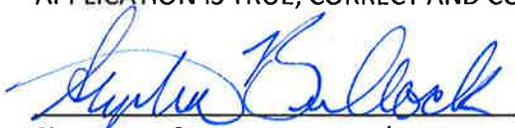
Building Information	Gross Floor Area by Use of Buildings (please describe use as well as floor area):				
	Bldg 1: 170,000	Bldg 2: 0	Bldg 3: 0	Bldg 4: 0	Bldg 5: 0
	Use 1: Costco Warehouse – entire building				
	Use 2:				
	Use3:				
	Use4:				

You may not begin any activity based on this application until a decision, including the resolution of any appeal, has been made. Conditions or restrictions may be placed on your permit if it is approved. After the City has acted on your application, you will receive notice of the outcome. If an appeal is filed, you may not begin any work until the appeal is settled. You may also need approvals from other agencies; please check this before beginning any activity.

This application expires 180 days after the last date that additional information is requested (LSMC 14316A.245)

If you suspect that your site contains a stream or wetland or is adjacent to a lake, you may need a permit from the state or federal government.

I DECLARE UNDER PENALTY OF THE PERJURY LAWS THAT THE INFORMATION I HAVE PROVIDED ON THIS APPLICATION IS TRUE, CORRECT AND COMPLETE.


 Signature of Property Owner/Agent

4/30/2019
 Date of Application



Planning and Community Development
1812 Main Street, P O Box 257
Lake Stevens WA 98258
Phone Number (425) 377-3235

To be completed by staff

Date of Application: _____

Staff Initials: _____

Permit Number: _____

STATEMENT OF OWNERSHIP/APPLICANT AUTHORITY

I certify or declare under penalty of perjury under the laws of the state of Washington that:

1. This application is authorized by the all the land owners with authority to bind the land/property;
2. That the developer is operating under the landowner's authority;
3. That the developer and/or landowner is either an individual or a duly formed and qualified corporation, partnership, or other legal entity; and
4. That the person signing all applications or other legal documents is authorized by the legal entity and/or landowner to do so; and
5. That the application and submittals are true and correct to the best of my information.

Applicant

Signature: *Steve Bullock*

Name: STEVE BULLOCK

Address: 1101 2ND AVE

SEATTLE, WA 98101

Phone: 206-962-6614

Email address: STEVE.BULLOCK@MAZ.COM

Property Owner(s)

Signature: _____

Signature: _____

Name: _____

Name: _____

Address: _____

Address: _____

Phone: _____

Phone: _____

Email address: _____

Email address: _____

CITY OF LAKE STEVENS
SNOHOMISH COUNTY, WA.

BINDING SITE PLAN
NO. _____

DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE THE UNDER-SIGNED OWNERS(S) OF THE LAND HEREBY TO BE DEDICATED MAKE A BINDING SITE PLAN PURSUANT TO CHAPTER 35.110, RCW. WE HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, AVENUES, PLACES, OR WHATEVER PUBLIC PROPERTY THERE IS SHOWN ON THIS BINDING SITE PLAN, AND THE USE FOR ANY AND ALL PUBLIC PURPOSES NOT INCONSISTENT WITH THE USE OF THEREOF FOR PUBLIC HIGHWAY PURPOSES.

THIS _____ DAY OF _____ 20____
BY: _____ DATE _____
CITY OF LAKE STEVENS, WA
COSTCO WHOLESALE CORPORATION DATE _____

ACKNOWLEDGEMENTS

STATE OF WASHINGTON }
COUNTY OF _____ } SS
I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT AND SAID PERSON IS THE PERSON WHO APPEARED BEFORE ME, INSTRUMENT ON OATH, STATED THAT THEY SIGNED THIS EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE

OF
TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THIS INSTRUMENT.
DATED: _____
SIGNATURE OF NOTARY PUBLIC _____
PRINTED NAME _____
NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON:
RESIDING AT _____
MY APPOINTMENT EXPIRES: _____

**DECLARATIONS, COVENANTS,
CONDITIONS AND RESTRICTIONS**

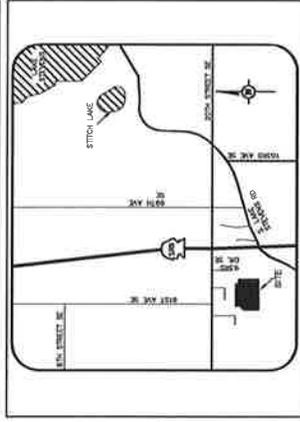
1. _____
2. _____

APPROVALS

CITY OF LAKE STEVENS COMMUNITY DIRECTOR APPROVAL
EXAMINED AND APPROVED THIS _____ DAY OF _____ 20____
BY: _____
CITY OF LAKE STEVENS COMMUNITY DEVELOPMENT DIRECTOR
CITY OF LAKE STEVENS DEPARTMENT OF PUBLIC WORKS APPROVAL
EXAMINED AND APPROVED THIS _____ DAY OF _____ 20____
BY: _____
CITY OF LAKE STEVENS PUBLIC WORKS DIRECTOR

CITY OF LAKE STEVENS TREASURER
I HEREBY CERTIFY THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS AND THAT ALL SPECIAL ASSESSMENTS OF ANY OF THE PROPERTY HEREBY COMAINED (PLATS, ALLEYS, ETC.) FOR OTHER PUBLIC PURPOSES ARE PAID IN FULL THIS _____ DAY OF _____ 20____
BY: _____
CITY OF LAKE STEVENS TREASURER
SNOHOMISH COUNTY TREASURER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL STATE AND COUNTY TAXES HERETOFORE LEVIED AGAINST THE PROPERTY DESCRIBED HEREIN ACCORDING TO THE BOOKS AND RECORDS OF MY OFFICE, HAVE BEEN FULLY PAID AND DISCHARGED, INCLUDING TAXES _____ DAY OF _____ 20____
BY: _____
TREASURER, SNOHOMISH COUNTY
BY: _____
DEPUTY TREASURER

VICINITY MAP - NOT TO SCALE



LEGAL DESCRIPTION - NORDINE PROPERTIES

OPER COMMITMENT FOR TITLE INSURANCE, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. NS-880248-W1, DATED APRIL 13, 2018)
A PORTION OF THE NORTH HALF OF TRACT 25, PLAT OF GLENWOOD DIVISION "A", ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 46, IN SNOHOMISH COUNTY, WASHINGTON, LYING WEST OF STATE ROAD NO. 14.
EXCEPT THE NORTH 10 FEET CONVEYED TO SNOHOMISH COUNTY BY DEED RECORDED UNDER RECORDING NO. 2144563; AND ALSO EXCEPT THAT PORTION CONVEYED TO SNOHOMISH COUNTY BY DEED RECORDED MAY 18, 2008 UNDER RECORDING NO. 200805180832.

LEGAL DESCRIPTION - NORDINE PROPERTIES

OPER COMMITMENT FOR TITLE INSURANCE, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. NS-880248-W1, DATED NOVEMBER 15, 2017)
THE SOUTH HALF OF TRACT 23, IN THE PLAT OF GLENWOOD DIVISION "A", ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 46, IN SNOHOMISH COUNTY, WASHINGTON,
TRACT 24, IN THE PLAT OF GLENWOOD DIVISION "A", ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 46, IN SNOHOMISH COUNTY, WASHINGTON;
EXCEPT THE NORTH 250 FEET THEREOF;
AND ALSO EXCEPT THE SOUTH 30 FEET THEREOF CONVEYED TO THE COUNTY OF SNOHOMISH BY DEED RECORDED UNDER RECORDING NO. 488163;
ALSO EXCEPTING THEREFROM THAT PORTION DESCRIBED IN AGREED DECREE OF APPROPRIATION IN FAVOR OF SNOHOMISH COUNTY, A MUNICIPAL CORPORATION, FILED MARCH 30, 2010, SNOHOMISH COUNTY SUPERIOR COURT, CASE NO. 08-2-04814-R;
THE SOUTH HALF OF TRACT 25 IN THE PLAT OF GLENWOOD DIVISION "A", ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 46, IN SNOHOMISH COUNTY, WASHINGTON LYING SOUTH OF 20TH STREET SOUTHEAST (HEWITT AVENUE) AND LYING WEST OF STATE ROUTE 9,
EXCEPT THE SOUTH 30 FEET THEREOF CONVEYED TO SNOHOMISH COUNTY BY DEED RECORDED UNDER RECORDING NO. 488163;
ALSO EXCEPTING THEREFROM THAT PORTION DESCRIBED IN AGREED DECREE OF APPROPRIATION IN FAVOR OF SNOHOMISH COUNTY, A MUNICIPAL CORPORATION, FILED MARCH 30, 2010, SNOHOMISH COUNTY SUPERIOR COURT, CASE NO. 08-2-04814-R;
AND ALL OF TRACT 33, ALL BEING IN THE PLAT OF GLENWOOD DIVISION "A", ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 46, IN SNOHOMISH COUNTY, WASHINGTON.

LEGAL DESCRIPTION - CITY OF LAKE STEVENS PROPERTIES

OPER ALTA COMMITMENT FOR TITLE INSURANCE, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 500037185, DATED SEPTEMBER 22, 2018)
THAT PORTION OF LOTS 21 AND 22, PLAT OF GLENWOOD DIVISION "A", ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 46, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, LYING SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:
BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 22;
THENCE SOUTH 00°18'17" WEST 350 FEET TO THE POINT OF BEGINNING OF SAID LINE;
THENCE SOUTH 89°22'10" WEST 128.25 FEET;
THENCE SOUTH 10°18'17" WEST 100 FEET;
THENCE SOUTH 89°22'10" WEST 484.18 FEET TO THE WEST LINE OF SAID LOT 21 AND THE END OF SAID LINE.
EXCEPT THE WEST 15 FEET OF SAID LOT 21 CONVEYED TO SNOHOMISH COUNTY BY INSTRUMENT RECORDED UNDER AUDITOR'S FILE NO. 488163.
SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.
REFERENCE DOCUMENTS
1) COMMITMENT FOR TITLE INSURANCE, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. NS-880248-W1, DATED NOVEMBER 15, 2017)
2) ALTA COMMITMENT FOR TITLE INSURANCE, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 500037185, DATED SEPTEMBER 22, 2018)
3) PLAT OF GLENWOOD DIVISION "A", RECORDED IN VOLUME 7 OF PLATS, PAGE 46, IN SNOHOMISH COUNTY, WASHINGTON;
4) PLAT OF EAST HEMITT ADDITION, RECORDED IN VOLUME 24 OF PLATS, PAGE 92, IN SNOHOMISH COUNTY, WASHINGTON;
5) PLAT OF HILLSIDE HOMES, RECORDED IN VOLUME 24 OF PLATS, PAGE 10, IN SNOHOMISH COUNTY, WASHINGTON;
6) VARIOUS WASHINGTON STATE DEPARTMENT OF TRANSPORTATION PLANS FOR STATE ROUTE 9



LAND SURVEYOR'S CERTIFICATE
THIS BINDING SITE PLAN CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH STATE AND COUNTY STATUTES IN _____ 20____
PAUL T. RICE, PLS
CERTIFICATE NO. 40101

RECORDER'S CERTIFICATE
FILED FOR RECORD THIS _____ DAY OF _____ 20____ AT _____M
IN BOOK _____ OF _____ AT PAGE _____ AT THE REQUEST OF
PAUL T. RICE
SURVEYOR'S NAME
MANAGER _____ SUPT. OF RECORDS _____

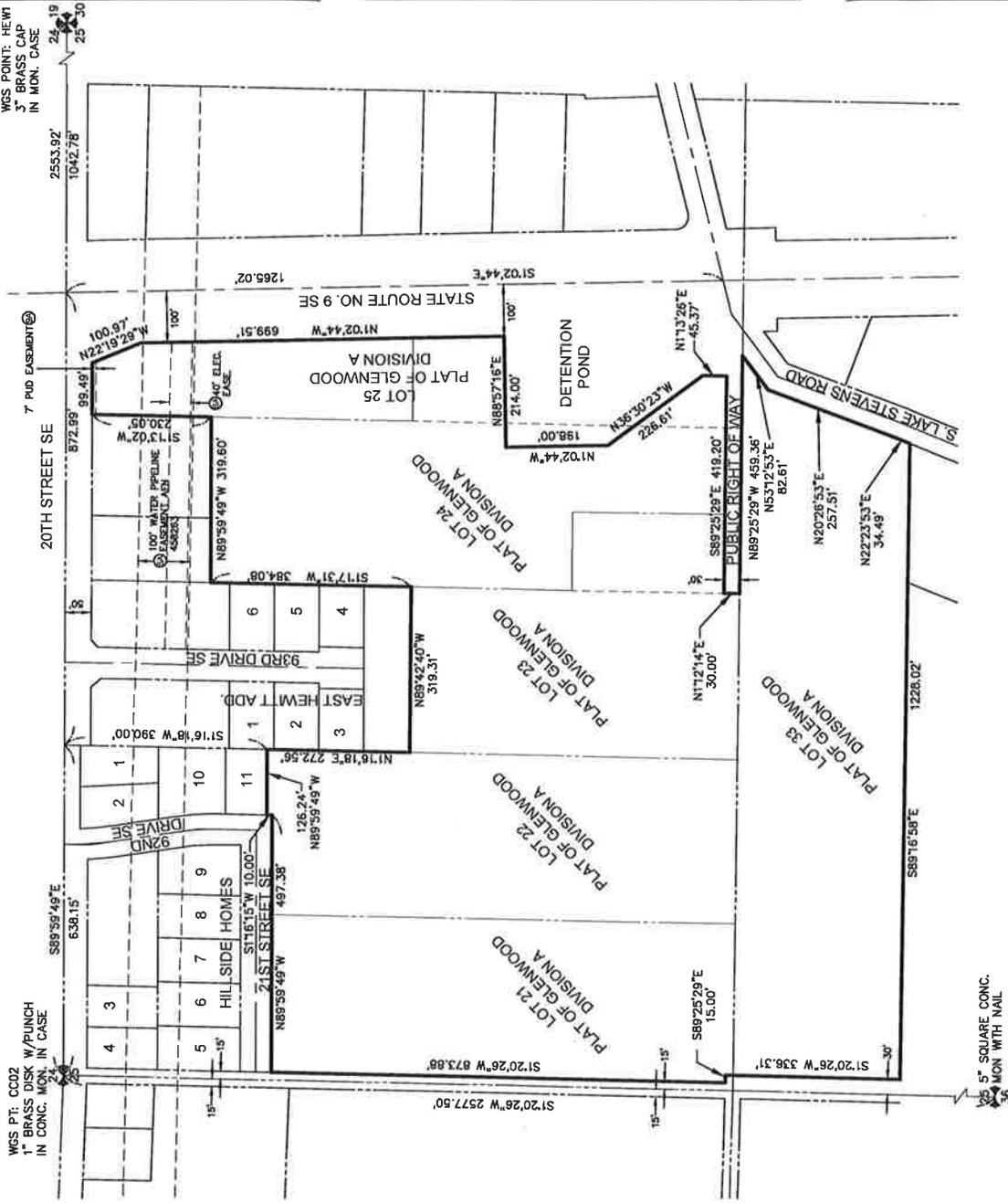


DOWL
WWW.DOWL.COM
8410 154th Avenue NE, Suite 120
Redmond, Washington 98052
425-869-2670
JOB NO. 13940.01
DWN. BY CC
DATE 2019-04-19
SHEET 1 OF 3
PTR

PORTION OF
NE 1/4 of NE 1/4, SEC. 25 T. 29N R. 5E W.M.
NW 1/4 of NE 1/4, SEC. 25 T. 29N R. 5E W.M.
SW 1/4 of NE 1/4, SEC. 25 T. 29N R. 5E W.M.

CITY OF LAKE STEVENS
 SNOHOMISH COUNTY, WA.
 BINDING SITE PLAN
 NO. _____

EXISTING BOUNDARY SURVEY - 1"=150'

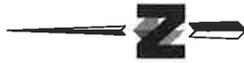


WGS PT: C002
 1" BRASS DISK W/PUNCH
 IN CONC. MON. IN CASE

WGS POINT: HEW
 3" BRASS CAP
 IN MON. CASE

WGS POINT: HEW
 3" BRASS CAP
 IN MON. CASE

WGS POINT: HEW
 3" BRASS CAP
 IN MON. CASE



LEGEND

- SUBJECT PROPERTY BOUNDARY
- PROPERTY LINE (ADJACENT)
- CENTERLINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- SECTION CORNER
- 1/4 SECTION CORNER
- CENTER OF SECTION
- STREET C. MONUMENT
- PROPERTY CORNER FOUND (AS NOTED)
- PROPERTY CORNER SET (AS NOTED)
- EASEMENT REFERENCE #
- MONUMENT REFERENCE #
- MEASURED DIMENSION
- COMPUTED DIMENSION
- DIMENSION FROM REF. DOC. #

EASEMENTS AFFECTING PROPERTIES

1. EASEMENT RESULTING FROM SNOHOMISH COUNTY SUPERIOR COURT CONDEMNATION CAUSE NO. S. 20784, IN FAVOR OF THE CITY OF EVERETT, FOR A WATER PIPE LINE, RECORDED UNDER AEN 458293. SURVEYOR'S NOTE: SAID EASEMENT IS SHOWN HEREIN.
2. EASEMENT FOR ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM, IN FAVOR OF PUBLIC UTILITY DISTRICT NO. 1 OF SNOHOMISH COUNTY, RECORDED UNDER SUPERIOR COURT CAUSE # S. 91956. LIS PONDINGS WAS RECORDED UNDER SUPERIOR COURT CAUSE # S. 91956. SURVEYOR'S NOTE: SAID EASEMENT IS SHOWN HEREIN.
3. EASEMENT TO OPERATE AND MAINTAIN ELECTRIC DISTRIBUTION LINE, RECORDED UNDER SUPERIOR COURT CAUSE # S. 20084. SURVEYOR'S NOTE: SAID EASEMENT IS SHOWN HEREIN.



DOWL
 WWW.DOWL.COM
 8410 154th Avenue NE, Suite 120
 Redmond, Washington 98052
 425-869-2670

PORTION OF	NE 1/4, SEC. 25, T. 29N, R. 5E, W.M.
	NW 1/4 of NE 1/4, SEC. 25, T. 29N, R. 5E, W.M.
	SW 1/4 of NE 1/4, SEC. 25, T. 29N, R. 5E, W.M.
DWN. BY	DWG. NO. 13940.01
CC	5506-13B
CHKD. BY	DATE
PTR	2019-04-19
	SHEET 2
	OF 3

Part Three: Design Guidelines (Applicant Complete)

Section II - Site Orientation and Design. Please indicate how your project addresses the principles found in *Subarea Design Guidelines* sections IIA – IIH. Identify where the specific elements are located on the plans. If the principle does not apply to your project, indicate why not.

<p>A. Pedestrian Orientation & Streetscape</p>	<p>See Arch Site Plan and Landscape Plan. The building has been located close to 24th and 91st to minimize large fields of parking directly adjacent to the street. However, the building's front door is not oriented towards those streets and does not propose store fronts in those locations. We believe this to be appropriate due to the nature of these streets in this area. Significant landscaping and public amenities have been in and along this street front. The same is true for the landscaping of the site and pedestrian access paths through the site. The only drive-through component of the site is Costco's Fuel Facility and adequate queuing has been provided to ensure there will be no backups onto public streets.</p>
<p>1. Pedestrian Oriented Zone</p>	
<p>2. Street Landscaping</p>	
<p>3. Setbacks</p>	
<p>4. Site Landscaping</p>	
<p>5. Drive-through Use</p>	
<p>B. Architectural Landmarks & Gateways</p>	<p>Our understanding is that this is not a Gateway condition and an enhanced structure is not required.</p>
<p>1. Structural Elements</p>	
<p>C. Plazas, Courtyards & Seating Areas</p>	<p>See site plan and perspective images. Costco's entry canopy has full roll-up glass doors to turn the semi-enclosed canopy into an open arcade during the warmer spring, summer and fall months. This arcade together with the surrounding entry plaza provide approximately 7,500 sf of plaza space where 1,700 sf is required. The columns that support the arcade also have integrated benches at their bases that provide 84 lineal feet of benches where 17' is required.</p>
<p>1. Plazas, Courtyard & Seating</p>	
<p>D. Lighting</p>	<p>We will provide street lighting to meet City standards for street lighting.</p> <p>See photometric plan for site lighting. We would like to use a 34' tall pole on a concrete base for our site lights. All fixtures will be full cut-off fixtures limiting spillage to adjacent roads and properties. Keeping the poles at 30' or less requires roughly 10% more poles, energy and raw materials which is one of our sustainability efforts. Minimizing the use of raw materials and energy.</p>
<p>1. Street Light</p>	
<p>2. Site Lighting</p>	

E. Crosswalks & Intersections.	All ROW improvements will be determined in collaboration
1. Crosswalks & Intersection Treatments	
F. Pedestrian Connections	See Arch Site Plan and Landscape Site Plan. Pedestrian pathways have been included on the site plan to provide protected access from the public ROW and the parking field to the front door of the building. Pathways are separated from vehicular paths by grade changes, landscaping and surface materials (concrete vs. asphalt).
1. Pedestrian Pathways	
G. Parking Lots	See Site Plan and Landscape Plans - Parking lots have been located behind the building as much as practical. The landscape palette uses NW drought tolerant species that provide beauty and unifying element throughout the site.
1. Configuration and Screening	
2. Landscaping	
3. Parking Structures	
H. Screening of Trash & Service Areas	The garbage area is located on the west side of the building. We are proposing compactors that are loaded from inside the building so no garbage is ever seen on the outside. However, significant landscaping screening is provided between the road and the compactor loading area. the loading dock is screened with a CMU wall.
1. Service Areas	
Additional Comments:	

Section III - Building Design. Please indicate how your project addresses the principles found in *Subarea Design Guidelines* sections IIIA – IIIE. Identify where the specific elements are located on the plans. If the principle does not apply to your project, indicate why not.

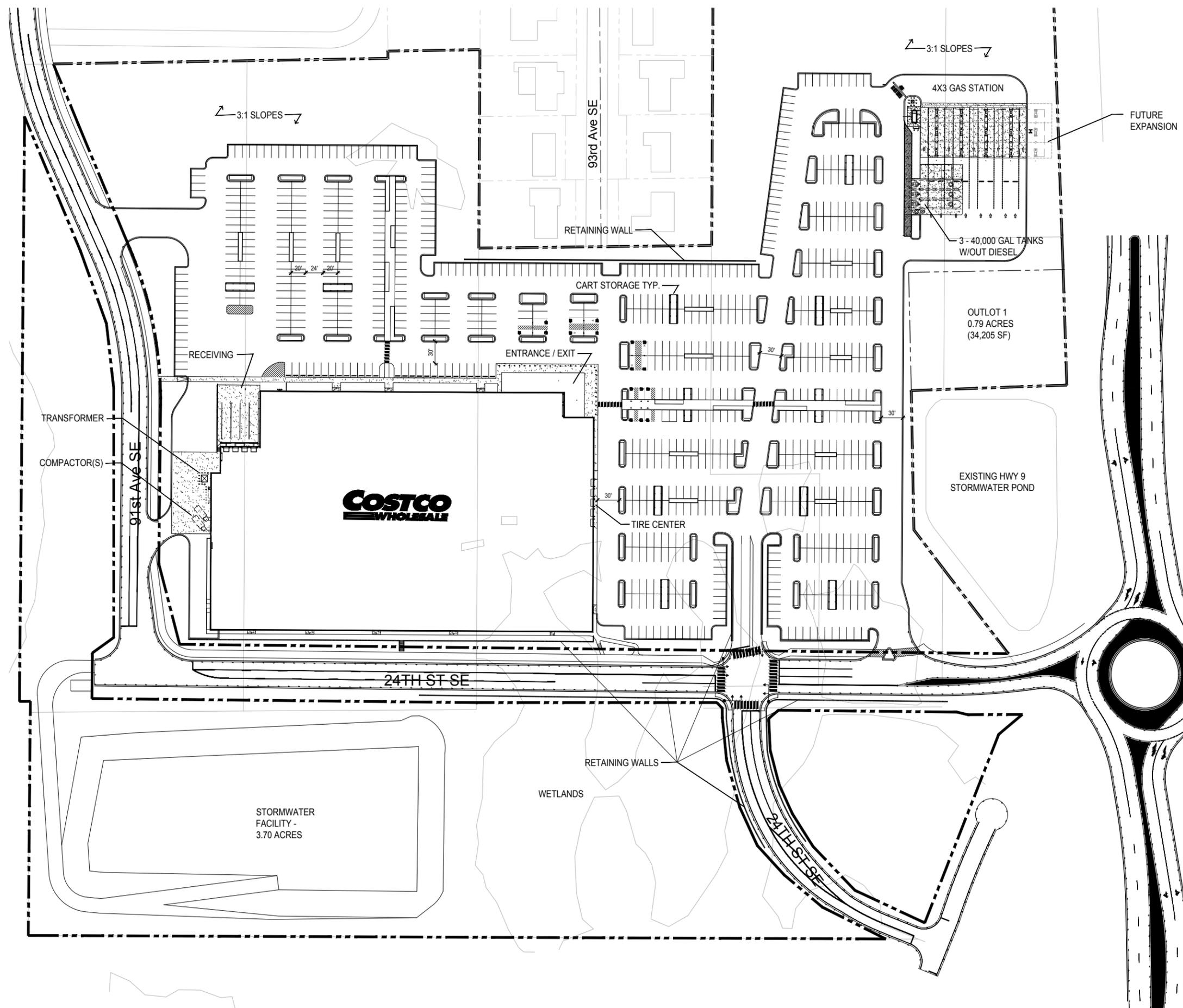
<p>A. Primary Orientation</p>	
<p>B. Ground Level Details</p>	<p>Costco's main entrance is oriented towards the east and Hwy 9. An taller entry canopy feature is included at the main entry to provide intuitive way-finding into the site and building design.</p>
<p>1. Entrances</p>	
<p>2. Weather Protection</p>	<p>The main entry arcade provides weather protection for the building along 110' of its north facade and 60' along its western facade.</p>
<p>3. Façade Details</p>	<p>Multiple architectural metal panel profiles with two different colors together with integral color CMU are proposed as siding materials to go along with exposed steel structural members as accent elements.</p>
<p>4. Blank Wall Treatments</p>	
<p>C. Massing and Articulation</p>	<p>The proposed Costco warehouse is right around the 30' height that requires additional architectural detailing. We have incorporated a stepped parapet together with different cornice detailing to create interest where the building meets the sky. The building also has a very defined base where a concrete stem wall and CMU panels create a wainscot/chair rail around the building.</p>
<p>1. Massing</p>	
<p>2. Articulation</p>	
<p>D. Architectural Character</p>	<p>Costco and MG2's design approach is to create a building that is made from high quality long lasting materials that are integrated into a simple but elegant building. We use rhythm, scale and proportion to make it architecturally interesting without being overly busy or repetitive. The end result is a building that is intentionally designed to be sustainable in both its construction and operation while being a good neighbor visually to the community it is located within.</p>
<p>1. Design Concept</p>	
<p>2. Building Material</p>	
<p>3. Windows</p>	
<p>4. Rooflines</p>	
<p>5. Screening Rooftop Equipment</p>	

E. Signs	<p>See the elevation sheet. More details will be submitted in the future.</p> <p>No freestanding signs are proposed. Only two wall mounted signs are proposed on the east side of the building and two signs on the Fuel Facility (south and east).</p>
1. Creativity and Quality Design	
2. Freestanding Signs	
3. Pedestrian-Oriented & Wall Signs	
Additional Comments:	

Section IV - Multifamily Neighborhoods. Please indicate how your project addresses the principles found in *Subarea Design Guidelines* sections IVA – IVC. Identify where the specific elements are located on the plans. If the principle does not apply to your project, indicate why not.

A. Site Design	NA
1. Orientation	
2. Landscaping	
3. Outdoor Spaces	

B. Parking and Access	NA
C. Building Design	NA
1. Pitched Roof Forms	
2. Design to Increase Privacy	
3. Architectural Character and Scale	
Additional Comments:	
Part Three: Design Guideline Criteria (City to complete)	
Yes <input type="checkbox"/>	Project meets City of Lake Stevens Subarea Design Guidelines.
No <input type="checkbox"/>	Project does not meet City of Lake Stevens Subarea Design Guidelines (explain on separate sheet and attach)
Signature (Director or Designee)	
Date	



PROJECT DATA

CLIENT: COSTCO WHOLESALE
 999 LAKE DRIVE
 ISSAQUAH, WA 98027

PROJECT ADDRESS: SWC OF SR 9 & 20TH ST S.E.
 LAKE STEVENS, WA

SITE DATA:

COSTCO SITE AREA: 21.67 ACRES (943,862 SF)
 CITY ROW AREA: 3.68 ACRES (160,162 SF)
 STORMWATER FACILITY AREA: 3.70 ACRES (161,193 SF)
 WETLAND/MITIGATION AREA: 6.90 ACRES (300,702 SF)
 OUTLOT 1: 0.79 ACRES (34,205 SF)
 TOTAL SITE AREA: 36.73 ACRES

JURISDICTION: CITY OF LAKE STEVENS

ZONING: COMMERCIAL DISTRICT (CD)

SETBACKS:	REQUIRED	ACTUAL
FRONT:	TBD	TBD
SIDE:	TBD	TBD
REAR:	TBD	TBD

BUILDING DATA:

TOTAL BUILDING FOOTPRINT AREA: 169,243 SF

INCLUDES:

WAREHOUSE MAIN LEVEL	165,266 SF
ENCLOSED CANOPY	3,977 SF

PARKING DATA:

TOTAL PARKING: 802 STALLS

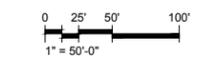
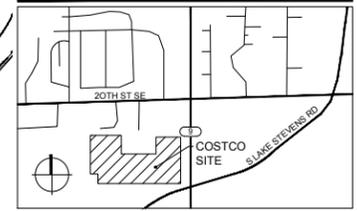
INCLUDES:

MAIN LEVEL PARKING PROVIDED:	
⊙ 10' WIDE STALLS	785 STALLS
⊕ ACCESSIBLE STALLS	17 STALLS

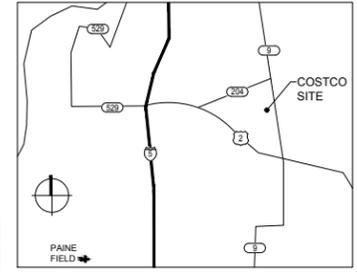
NUMBER OF STALLS PER 1000 SF OF BUILDING AREA: 4.73 STALLS

NOTES:
 EXISTING CONDITIONS TO BE FIELD VERIFIED.

VICINITY MAP



REGIONAL MAP



17-0085-01
 APRIL 2, 2019

CONCEPT
 SITE PLAN

D11-05

COSTCO WHOLESALE

LAKE STEVENS, WASHINGTON

CONCEPT SITE PLAN

APRIL 2, 2019

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PROJECT DATA

CLIENT: COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

PROJECT ADDRESS: SWC OF SR 9 & 20TH ST S.E.
LAKE STEVENS, WA

SITE DATA:

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CITY ROW AREA: 3.68 ACRES (160,162 SF)
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OUTLOT 1: 0.79 ACRES (34,205 SF)
TOTAL SITE AREA: 36.73 ACRES

JURISDICTION: CITY OF LAKE STEVENS

ZONING: COMMERCIAL DISTRICT (CD)

SETBACKS:	REQUIRED	TBD	ACTUAL	TBD
FRONT:			FRONT:	
SIDE:			SIDE:	
REAR:			REAR:	

BUILDING DATA:

TOTAL BUILDING FOOTPRINT AREA: 169,243 SF

INCLUDES:

WAREHOUSE MAIN LEVEL: 165,266 SF
ENCLOSED CANOPY: 3,977 SF

PARKING DATA:

TOTAL PARKING: 802 STALLS

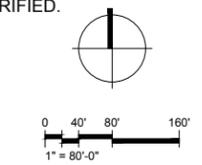
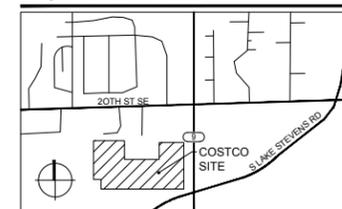
INCLUDES:

MAIN LEVEL PARKING PROVIDED:
 ○ 10' WIDE STALLS: 785 STALLS
 ◻ ACCESSIBLE STALLS: 17 STALLS

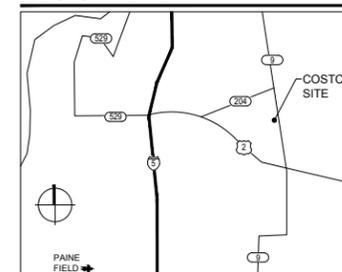
NUMBER OF STALLS PER 1000 SF OF BUILDING AREA: 4.73 STALLS

NOTES:
EXISTING CONDITIONS TO BE FIELD VERIFIED.

VICINITY MAP



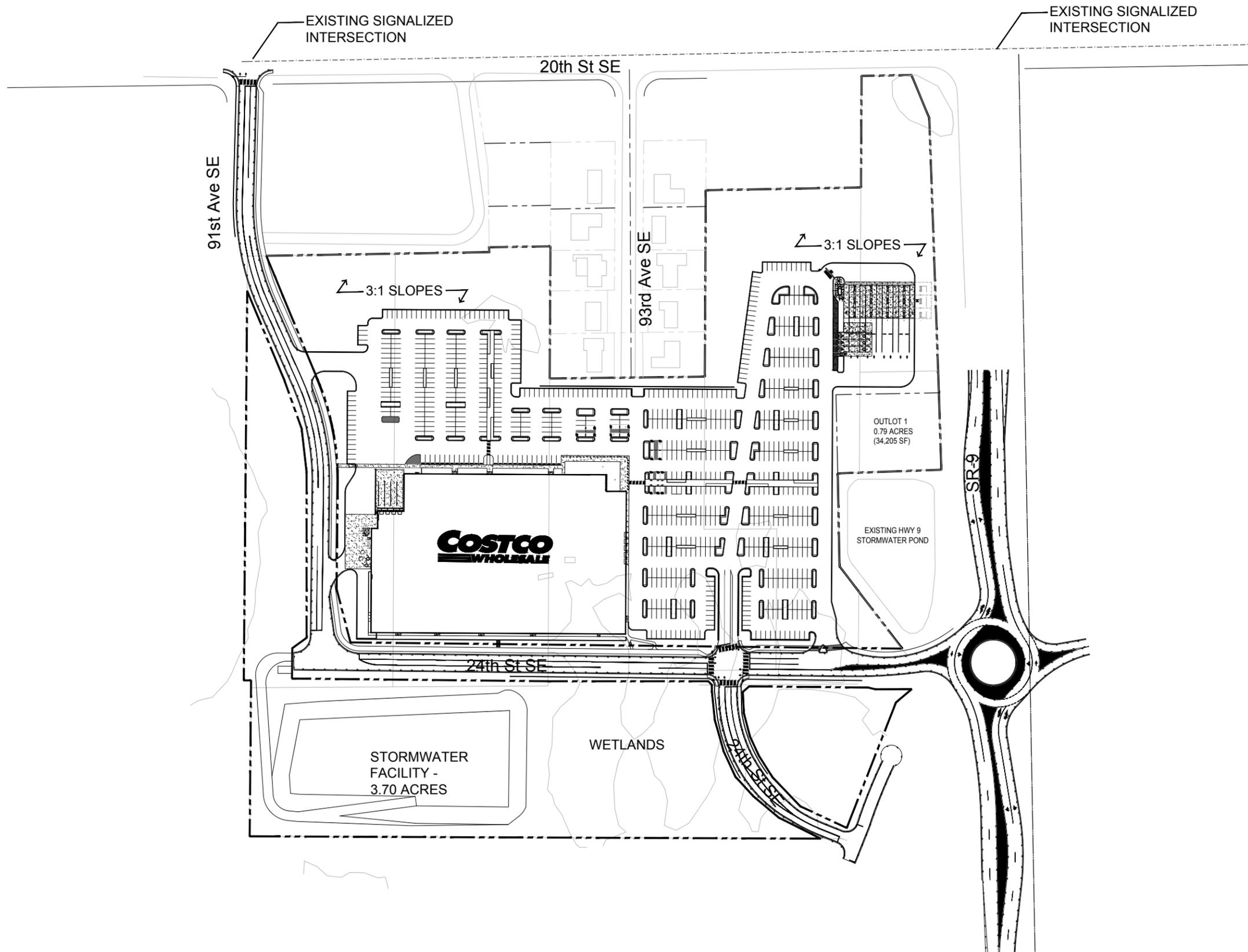
REGIONAL MAP



17-0085-01
APRIL 2, 2019

OVERALL SITE PLAN

D12-05



COSTCO WHOLESALE

LAKE STEVENS, WASHINGTON

OVERALL SITE PLAN

APRIL 2, 2019

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COSTCO WHOLESALE

LAKE STEVENS, WASHINGTON

PRELIMINARY LANDSCAPE PLAN

APRIL 4, 2019

SEE SHEET L1.2 FOR
LANDSCAPE LEGEND & DETAILS

WEISMANDESIGNGROUP

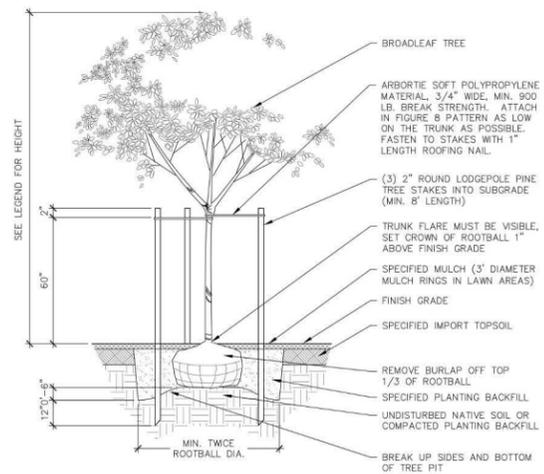
LANDSCAPE ARCHITECTURE 2329 E MADISON ST SEATTLE WA 98112 206-322-1732 WWW.WDGR.COM



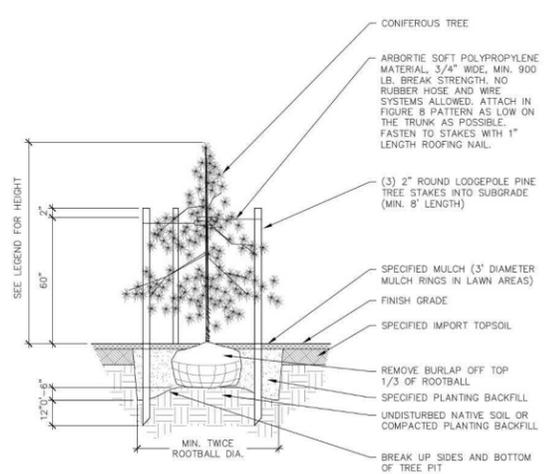
17-0085-01
APRIL 4, 2019

PRELIMINARY
LANDSCAPE
PLAN

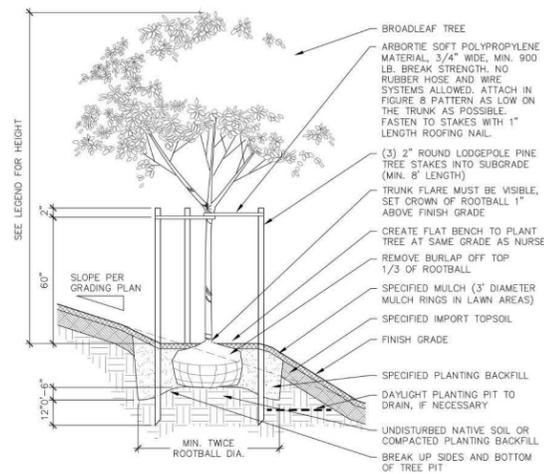
L1.1



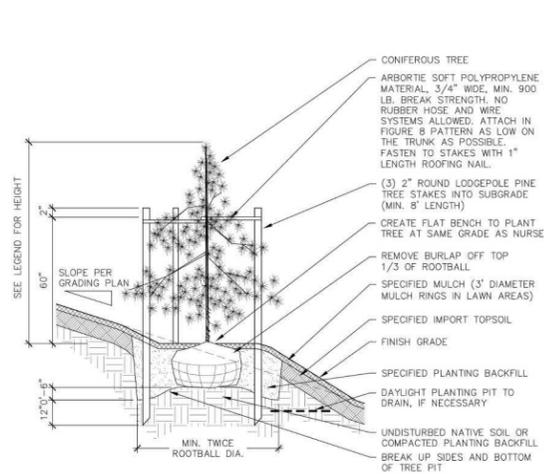
A DECIDUOUS TREE PLANTING Scale: 3/8"=1'-0"



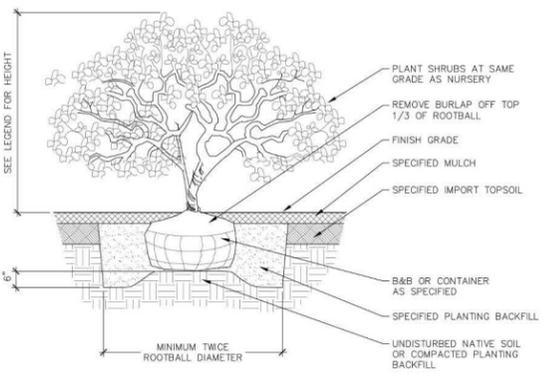
B CONIFEROUS TREE PLANTING Scale: 3/8"=1'-0"



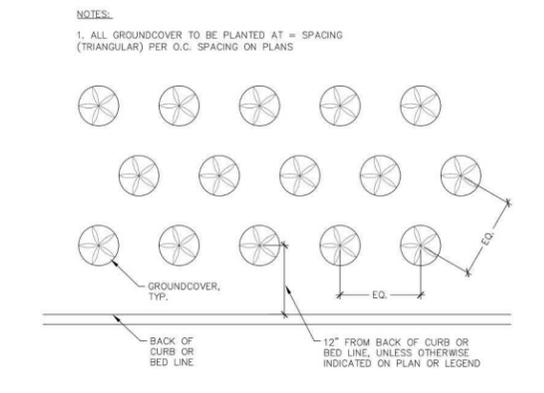
C DECIDUOUS TREE PLANTING ON SLOPE Scale: 3/8"=1'-0"



D CONIFEROUS TREE PLANTING ON SLOPE Scale: 3/8"=1'-0"



E SHRUB / GROUNDCOVER PLANTING Scale: 1/2"=1'-0"



F GROUNDCOVER SPACING Scale: 1"=1'-0"

PRELIMINARY LANDSCAPE LEGEND (SYMBOLS SHOWN AT 1"=20")

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / CONDITION
	DECIDUOUS STREET TREES		
LARGE DECIDUOUS TREES			MIN. 2-1/2" CAL., MIN. 12-14' HT., MATCHED, FULL & WELL-BRANCHED ABOVE 6' HT., B&B.
	ACER TRUN. X ACER PLAT. 'WARRENRED'	PACIFIC SUNSET MAPLE	MIN. 2-1/2" CAL., MIN. 12-14' HT., MATCHED, FULL & WELL-BRANCHED ABOVE 6' HT., B&B.
	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	
	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO (MALE ONLY)	
	GLEDITSIA T. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	
	LIRIODENDRON TULIPIFERA	TULIP TREE	
	QUERCUS RUBRA	RED OAK	
	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	
	SMALL ACCENT TREES		
	ACER CIRCINATUM	VINE MAPLE	MIN. (3) 3/4" CAL., 7'-8' HT., MULTI-TRUNKED, MATCHING SPECIMEN, WELL-BRANCHED, B&B.
	CORNUS NUTTALLII	PACIFIC DOGWOOD	
	CONIFEROUS EVERGREEN TREES		
	CALOCEDRUS DECURRENS	INCENSE CEDAR	MIN. 7'-8' HT., FULL AND BUSHY TO BASE, B&B
	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	
	THUJA PLICATA 'HOGAN'	HOGAN RED CEDAR	
	LARGE SHRUBS		
	ARBUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	24-30" HT., FULL & BUSHY, B&B OR CONT., SPACING AS SHOWN.
	CORNUS SERICEA	RED OSIER DOGWOOD	
	MAHONIA AQUIFOLIUM	OREGON GRAPE	
	RIBES SANGUINEUM	RED FLOWERING CURRANT	
	ROSA NUTKANA	NOOTKA ROSE	
	SYMPHOCARPUS ALBUS	COMMON SNOWBERRY	
	MEDIUM SHRUBS		
	CORNUS SANGINEA 'MIDWINTERFIRE'	MIDWINTERFIRE DOGWOOD	MIN. 5 GAL. CONT., 21-24" HT. AND SPREAD, FULL AND BUSHY, SPACING AS SHOWN.
	EUONYMUS A. 'COMPACTA'	COMPACT BURNING BUSH	
	PHYSOCARPUS CAPITATUS	PACIFIC NINEBARK	
	ROSA RUGOSA	RUGOSA ROSE	MIN. 5 GAL. CONT., 18-21" HT. AND SPREAD, FULL AND BUSHY, SPACING AS SHOWN.
	MAHONIA A. 'COMPACTA'	COMPACT OREGON GRAPE	
	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	
	SMALL SHRUBS		
	CORNUS KELSEYI	KELSEY DOGWOOD	MIN. 2 GAL. CONT., MIN. 15" HT. & SPREAD, FULL & BUSHY, SPACING AS SHOWN.
	GAULTHERA SHALLON	SALAL	
	PINUS M. MUGO	DWARF MUGHO PINE	
	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	
	VIBURNUM DAVIDII	DAVID VIBURNUM	
	ORNAMENTAL GRASSES / ACCENTS		
	CALAMAGROSTIS A. 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL. CONT., FULL & BUSHY, SPACING AS SHOWN.
	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	
	DESCHAMPسيا CESPITOSA	TUFTED HAIR GRASS	
	POLYSTICHUM MUNITUM	SWORD FERN	
	GROUNDCOVERS		
	ARCTOSTAPHYLOS UVA-URSI	KINNIKINICK	1 GAL. CONT. AT 18" O.C. TRIANG. SPACING, START FIRST ROW 12" FROM EDGE.
	FRAGARIA CHILOENSIS	WILD STRAWBERRY	
	NATIVE GROUNDCOVER MIX:		
	GAULTHERA SHALLON	SALAL	1 GAL. CONT. AT 18" O.C. TRIANG. SPACING, START FIRST ROW 12" FROM EDGE. EQUAL QUANTITIES OF EACH. PLANT IN GROUPS OF 5-7 IN RANDOM DRIFTS.
	MAHONIA REPENS	CREeping MAHONIA	
	POLYSTICHUM MUNITUM	SWORD FERN	
	SOD LAWN		
	COUNTRY GREEN 'PERFECT GREEN' TURF BLEND, SEE SPECIFICATIONS		
	ROUGH SEED		
	ALUMINUM EDGING		
	REPLACEMENT TREES		
	1 GALLON SIZE NATIVE SPECIES AT 8' O.C. SEE CALCULATIONS FOR QUANTITIES.		

LANDSCAPE CALCULATIONS

TOTAL COSTCO SITE AREA =	21.67 ACRES (943,862 S.F.)
TOTAL VEHICLE ACCOMMODATION AREAS =	450,775 S.F.
SHADED AREA REQUIRED =	90,155 S.F. (20%)
SHADED AREA PROVIDED =	126,461 S.F. (28%)
ISLANDS WITH 2 TREES =	65 x 1,265 S.F. EACH = 82,225 S.F.
ISLANDS WITH 1 TREE =	14 x 707 S.F. EACH = 9,898 S.F.
PERIMETER TREES =	97 x 354 S.F. EACH = 34,338 S.F.
TOTAL NUMBER OF NEW TREES PROVIDED ON SITE =	400+
EXISTING TREE MITIGATION	
EXISTING TREES TO BE REMOVED =	1,814
(REFER TO SURVEY BY AMERICAN FOREST MANAGEMENT DATED 3/27/18)	
REPLACEMENT TREES REQUIRED (1 GAL. SIZE) =	5,442 (1,814 X 3)
REPLACEMENT TREES PROVIDED ON SITE =	1,714 (95,000 S.F. AT 8' O.C.)
REPLACEMENT TREES PROVIDED ON S.R. 9 ROW =	540 (30,000 S.F. AT 8' O.C.)
REMAINDER OF REPLACEMENT TREES TO BE PROVIDED OFF SITE OR BY MITIGATION FUND =	3,188

PLANTING NOTES

- ALL NEW LANDSCAPE AREAS ARE TO BE WATERED WITH AN AUTOMATIC WATER CONSERVING IRRIGATION SYSTEM. SEE IRRIGATION PLANS.
- MULCH ALL SHRUB AND GROUNDCOVER AREAS WITH A MINIMUM 3" DEPTH OF SPECIFIED MULCH.
- WHERE GROUNDCOVER IS SHOWN, IT SHALL BE PLANTED AT THE SPECIFIED SPACING THROUGHOUT THE BED, INCLUDING AREAS UNDERNEATH TREES AND SHRUBS, START FIRST ROW 12" FROM EDGE OF BED.
- SEE CIVIL DRAWINGS FOR GRADING, UTILITIES AND EROSION CONTROL.
- CONTRACTOR SHALL PROVIDE DIGITAL PHOTOS OF A REPRESENTATIVE TREE, SHRUB, OR GROUNDCOVER FOR ALL MATERIALS IN LEGEND BELOW FOR LANDSCAPE ARCHITECT REVIEW AND ACCEPTANCE PRIOR TO PROCUREMENT. THIS SHALL ESTABLISH THE STANDARD FOR APPROVED MATERIAL.
- INSTALL ROOT BARRIERS AT ALL INTERIOR PLANTING AREAS WITHIN 3' OF TREES, AND ALONG ALL STREET TREES WITHIN PLANTER STRIPS, 20' TOTAL LENGTH ON EACH SIDE OF TREE.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

ADDITIONAL NOTES FOR PRICING OF PRELIMINARY LANDSCAPE PLAN:

- ALL PLANT MATERIALS TO BE OF THE HIGHEST QUALITY. PROVIDE DIGITAL PHOTOS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PROCUREMENT.
- INSTALL MINIMUM 8" DEPTH HIGH QUALITY IMPORT TOPSOIL. USE ADDITIONAL TOPSOIL AS NEEDED TO CROWN BEDS MINIMUM 6" ABOVE ADJACENT CURBS.
- IMPORT TOPSOIL SHALL BE SELECT, FERTILE, SCREENED (1/2"), WELL-DRAINED, WEED-FREE, BALANCED MATERIAL COMPOSED OF SAND, COMPOST AND A SMALL AMOUNT OF CLAY/SILT TO BE CLASSIFIED AS SANDY LOAM UNDER USDA CLASSIFICATION. TOPSOIL SHALL BE TESTED AT APPROVED TESTING LAB FOR CONFIRMATION OF SOIL TEXTURE AND CLASSIFICATION. IF CLASSIFIED AS SANDY LOAM, THEN TEST FOR PH, TRACE MINERALS, SALINITY, N, P, K AND AMENDMENT RECOMMENDATIONS TO ACHIEVE A PH-BALANCED FERTILE TOPSOIL WITH MINIMUM 6% ORGANIC MATERIALS DERIVED FROM VEGETATIVE COMPOST. INCORPORATE STARTER FERTILIZER AND PLANT TABS PLUS FERTILIZER AND SOIL AMENDMENTS AS RECOMMENDED IN REPORT AT NO ADDITIONAL COST.
- ALL LANDSCAPE AREAS TO BE PROVIDED WITH A IRRIGATION SYSTEM INCLUDING THE FOLLOWING ITEMS:
 - HUNTER MP-ROTATOR SPRAY HEADS AT PERIMETERS
 - NETAFIM TECHLINE CV DRIP LINES IN INTERIOR
 - SCHEDULE 40 PVC MAINLINE
 - CLASS 200 PVC LATERALS
 - 40 RAINBIRD PEB-PRS-D CONTROL VALVES
 - RAINBIRD ESP-LXD CONTROLLER WITH IQ CLOUD
 - SEPARATE IRRIGATION METER AND BACKFLOW DEVICE WITH ENCLOSURE
 - RAINBIRD ROTORS AT TREE MITIGATION AREAS
- INSTALL 4" PERFORATED SUB DRAINS FOR ALL INTERIOR LANDSCAPE ISLANDS, CONNECTING TO STORM DRAIN SYSTEM.
- REFER TO COSTCO STANDARD PLANTING AND IRRIGATION SPECIFICATIONS AND DETAILS FOR INSTALLATION AND REVIEW REQUIREMENTS.

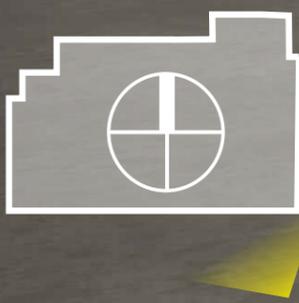










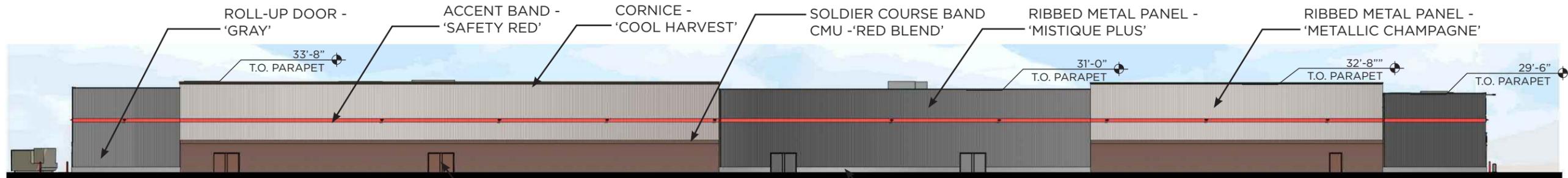




1 NORTH ELEVATION
SCALE: 1" = 40'



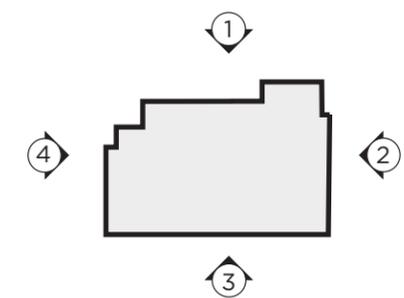
2 EAST ELEVATION
SCALE: 1" = 40'



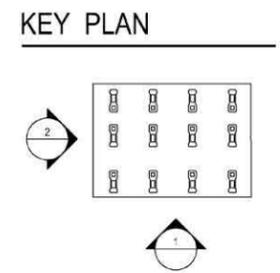
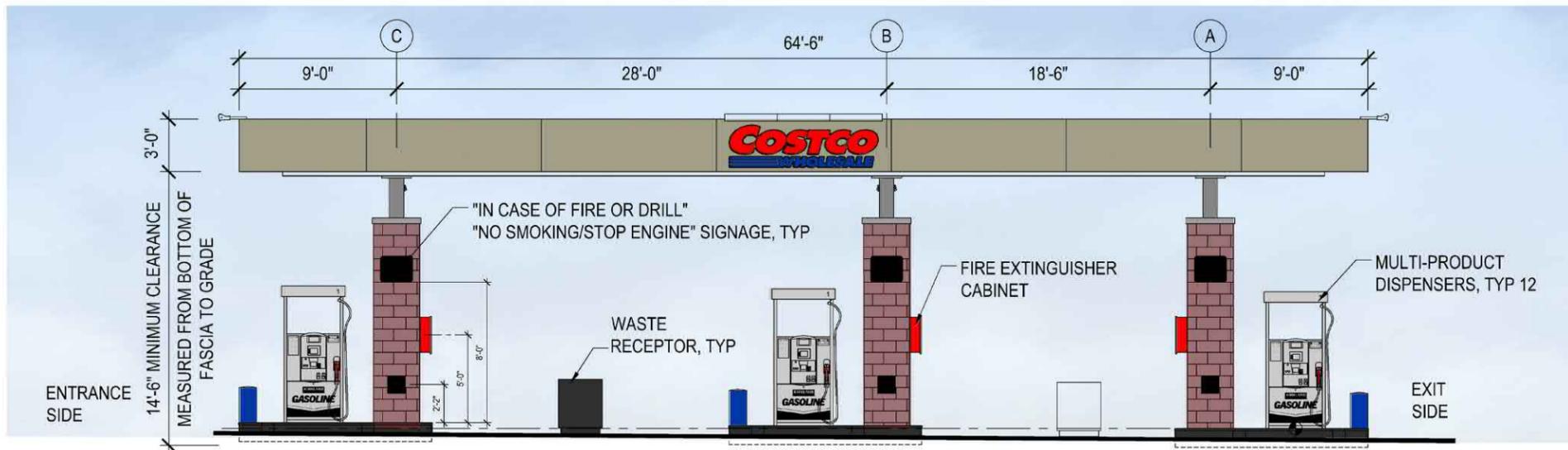
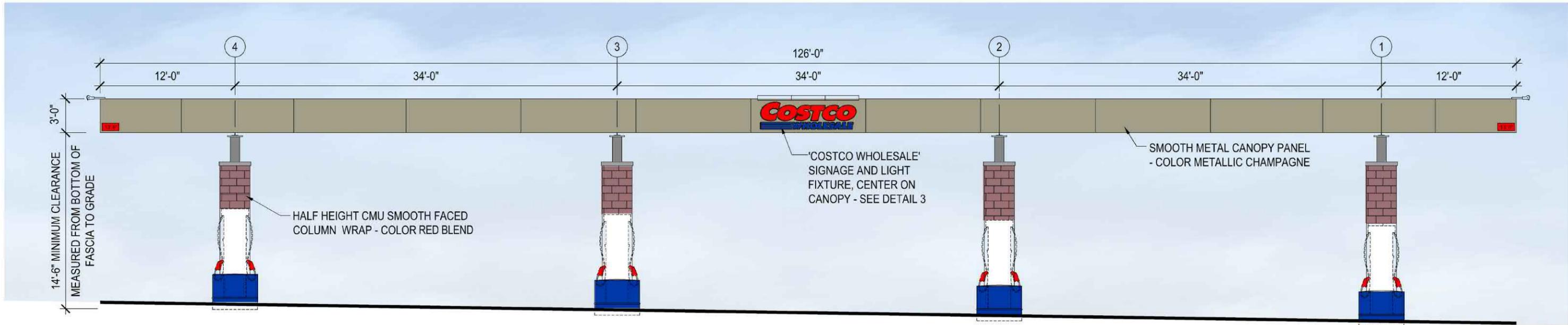
3 SOUTH ELEVATION
SCALE: 1" = 40'



4 WEST ELEVATION
SCALE: 1" = 40'







re

MEMO

To	City of Lake Stevens Melissa Place	Date	April 29, 2019
From	Steve Bullock, MG2 Peter Kahn, Costco	Project	City of Lake Stevens New Costco Warehouse
Cc			

RE Site Plan and Design Review Submittal for new Costco Warehouse

Click here to enter text.

The attached package includes all the submittal requirements necessary for a Site Plan and Design Review application with the City of Lake Stevens.

The following are The City of Lake Stevens Subarea Design Guidelines along with our responses for how we believe we comply with these guidelines.

14.38.020 Zoning Districts

(b) Commercial District (CD). The purpose of this district is to accommodate the high-intensity retail needs of the community and regional market by attracting a mix of large to small format retail stores and restaurants to create a vibrant and unified regional shopping center. Transportation accessibility, exposure to highways and arterials with adequate public services and traffic capacity characterize this district.

(1) Principal Uses.

(iv) Retail trade; and

Response: Costco's retail warehouse is an allowed use in the Commercial District of the SE 20th St subarea. We are not proposing any secondary or prohibited uses that are not allowed or require additional permits.



14.38.040 Dimensional Regulations

Zone	Minimum Lot Size	Building Setback (from lot line, tract or easement) (ft) ¹³		Min. Landscape Buffer (ft) ⁷	Min. First Floor Height (ft)	Max. Height (ft) ^{9, 14}
		Front	Side/Rear			
CD	NA	5	10 ^{4, 5}	5	15	55 ¹⁰
<i>Proposed</i>	<i>NA</i>	<i>>5'</i>	<i>>10'</i>	<i>>5'</i>	<i>>15'</i>	<i><55'</i>

Notes:

4. Districts that allow commercial uses shall maintain a 10-foot, Type B screen when adjacent to residential zones, per Section 14.76.040(a).
5. Structures 35 feet or taller next to single-family districts must be stepped back five feet for every floor over 35 feet per Figure 14.38-II.
7. Landscape buffers will be comprised of a Type C screen per Section 14.76.040(a) along side and rear property lines; however, the City may waive the landscape buffer when adjacent properties share parking, access, or other common features that make intensive landscaping impractical. In addition, perimeter landscape buffer along property lines of adjacent high-density single-family lots is not required; however, screening different developments from neighboring properties will provide separation, vegetation and define each development.
9. If a project includes a parking structure or affordable housing as described in Section 14.38.050(a), the City will also allow an overall height increase of 10 feet above maximum height.
10. The City will consider an increase in maximum height up to 80 feet with a conditional use permit per Section 14.16C.045.
13. Eaves and other minor architectural features may project into the required setback up to 18 inches.
14. Building heights in the CBD and P/SP zoning districts west of Main Street between North Lakeshore and 16th Street SE may not exceed 45 feet.

Response: Our site plan demonstrates compliance with all the bulk zoning requirements for height, setbacks and buffers described in table 14.38.040.

14.38.060 Parking Regulations

- (a) Purpose and Application. Ensure that parking requirements are adequate to different land uses and that the parking lot configurations contribute to an inviting and safe development. Developments within the subareas are subject to the parking regulations found in Chapter 14.72, except when this chapter modifies the standard municipal code requirements.
- (b) Parking Ratio. Table 14.38-III establishes the specific parking requirements for the subareas.

Table 14.38-III Parking Standards^{1, 2}

Land Use	Minimum	Maximum
Commerce and Industry (per gross floor area)		
Retail Trade and Personal Services	2 stalls per 1,000 gfa	4 stalls per 1,000 gfa
<i>Proposed</i>	<i>5.09 stalls / 1,000 gfa</i>	

Response: Per LSMC 14.72.020 Costco is requesting that a parking ratio of greater than 5 stalls per 1,000 sf be allowed. Because a customer/member's trip to Costco often lasts in excess of 1 hour, a large number of parking stalls are needed to accommodate the number of shoppers that come to a Costco warehouse. The current site plan shows a parking ratio of 5.09 stalls per 1,000 sf (809 parking stalls). However, Costco has kept an out-lot in reserve should they need additional parking in the future. For now, the 809 parking stalls are expected to be adequate. If additional parking is determined to be needed, Costco would develop additional parking on the out-lot, but they would the parking ratio under 5.7 stalls/1,000 sf (900 parking stalls or less). The parking report that was prepared by our traffic consultant supports this request.

- (d) Configuration. Parking lots shall be configured as follows:
 - (1) Parking lots that front on designated access streets may not have more than 60 feet fronting on such street, in the CD zoning district modifications may be allowed on a case-by-case basis according to Section 14.16C.120.
 - (2) Parking lots that contain 50 or more parking spaces must be divided into smaller individual lots of no more than 50 spaces per lot.

-
- (3) Individual lots must be separated with one of the following elements that are elevated approximately six inches above the adjacent parking lot:
 - (i) A minimum 10-foot-wide Type C landscape screen per Section 14.76.040(a)(3) within a planter bed; or
 - (ii) A minimum five-foot-wide pedestrian pathway flanked on each side with a two-foot-wide Type C landscape screen per Section 14.76.040(a)(3) within a planter bed.
 - (4) Parking areas shall be divided into bays of not more than 10 contiguous parking spaces in a row.
 - (5) At the end of each parking bay, there shall be a curbed planter with a minimum width of five feet measured from the outside of the curb.
 - (6) All parking spaces adjacent to landscape beds must provide a setback for all trees and shrubs where vehicle overhang extends into landscape areas by:
 - (i) Increasing planting bed to seven feet in width; or
 - (ii) Installing wheel stops set back two feet from the end of planting bed.

Response: Costco's parking lot demonstrate compliance to these requirements by providing significant perimeter buffering and substantial internal landscaping. The parking lot has been broken into different parking fields defined by different areas of the site, major drive aisle, pedestrian pathways and planting beds. All rows of parking over 10 stalls long are broken up with additional planting beds. All planting beds comply with the minimum width requirements and setbacks for trees.

14.38.070 Landscaping, Screening, and Natural Vegetation

- (a) Purpose and Application. Ensure that landscaping complements the architecture of the development and creates an inviting environment. Developments within the subareas are subject to the landscaping, screening, tree retention, and vegetation regulations found in Chapter 14.76 except when this chapter modifies the standard municipal code requirements.
- (b) Planting Requirements. Each planter shall contain at a minimum:
 - (1) One shade tree (minimum two-inch caliper) per parking area planting bed or one tree per 30 feet along paths, perimeters, or other linear planting areas;
 - (2) One two-gallon shrub for every 10 square feet of landscape area; and
 - (3) Mulch to a depth of three inches.

-
- (c) Irrigation. All landscaped areas shall provide underground irrigation, unless the landscape area is planted entirely with drought resistant native or naturalized plants.
 - (d) Maintenance of Landscaping.
 - (1) The property owner or responsible lessee shall maintain all landscaped areas in a healthy and safe manner; ensure landscaped areas remain free of weeds and debris; and replace dead or diseased plants with in-kind plants.
 - (2) The property owner or responsible lessee shall provide eye level visibility between the street, sidewalks, buildings, and parking areas:
 - (i) The property owner or responsible lessee shall prune shrubs and other low plantings to a height of three feet or less above the ground; and
 - (ii) The property owner or responsible lessee shall prune lower branches of mature trees to approximately eight feet above the ground. (Ord. 876, Sec. 5 (Exh. 3), 2012)

Response: Our proposed landscape plan complies with each of these requirements. Each planting bed has the required number of trees, shrubs, ground cover and irrigation. Costco is committed to maintaining the landscaping as described in this section.

14.38.080 Lighting

- (a) Lighting design must comply with the Illuminating Engineering Society of North America's Lighting Handbook or Recommended Practices and Design Guidelines, latest editions, for each applicable lighting type.
- (b) Lighting Levels and Shielding.
 - (1) Exterior lighting fixtures shall include timers, dimmers, sensors, or controllers that turn the lights off during daylight hours.
 - (2) Exterior lighting fixtures shall avoid harsh contrasts in lighting levels, prevent glare from normal viewing angles, and shield adjacent properties from light sources.
 - (i) Light fixtures shall not have bulbs or reflectors that project below the bottom rim of the fixture unless shielded by a softening diffuser.
 - (ii) Parking lot lighting fixtures should create adequate visibility at night and provide uniform lighting coverage to increase security.
 - (iii) Lighting levels shall be a maximum of two-tenths foot candles, measured five feet or beyond from an exterior property line.

(3) Lighting fixtures used to accent architectural features, materials, colors, style of buildings, or art shall be directed only to highlight those features.

Response: Costco designs their site lighting plans to comply with standards above. They want and even lighting level that makes for a safe environment on their site while allowing them to be good neighbors by preventing light spillage on adjacent properties.

(c) Height Standards.

(1) Lighting fixtures used in parking lots shall not exceed a maximum height of 30 feet.

(2) Lighting fixtures over 16 feet in height shall be fitted with a full cut-off shield.

(3) Lighting fixtures along sidewalks and paths shall not exceed a maximum height of 16 feet.

Response: Costco uses 34' light poles on 2.5' bases for a typical light fixture height of 36.5'. This is done for a number of reasons, some of which were already stated. Sustainability through the reduction of resources and energy also plays into why Costco uses taller fixture heights. Limiting our fixture height results in a 10% increase in the number of fixtures we will need to install on the site. Full cut off fixtures will be used to ensure no light spillage will occur on adjacent properties. We respectfully request a deviation from this standard.

(d) Maintenance.

(1) Lighting fixtures used for safety and security shall be maintained in good working order.

(2) Vegetation and landscaping shall be maintained in a manner that does not obstruct lighting fixtures. (Ord. 876, Sec. 5 (Exh. 3), 2012)

Response: Costco is committed to maintaining their property in compliance with these requirements.

14.38.090 Street Standards

(a) Purpose and Application. Provide a street network unique to the subareas that emphasizes multi-modal travel and grid connectivity. Street design, within the subareas, is subject to the street and sidewalk standards found in Chapter 14.56, except when this chapter modifies the standard municipal code requirements.

(b) Street classifications shall be per the applicable subarea plan's layered street network, but follow individual construction standards found in the current City's Engineering Design and Development Standards.

- (c) Block lengths should not exceed 400 feet in length; shopping districts should provide mid-block crosswalks to allow additional crossing opportunities.
- (d) Vehicular driveways for ingress and egress are encouraged to be located off arterials, whenever possible, to minimize the number of driveways and curb cuts onto public streets.
- (e) Adjacent developments should share driveways, for ingress and egress, to the greatest extent possible (cross-over agreements between properties strongly encouraged).
- (f) The sidewalk pattern and material shall continue across the driveways and curb cuts. (Ord. 876, Sec. 5 (Exh. 3), 2012)

Response: Costco has worked with the City on the proposed road layout in and around the proposed warehouse. While block lengths exceed 400' in some cases that is partially due to the environmental features in the area including slopes and wetlands. It is also controlled somewhat by the fact the Highway 9, which shares our eastern boundary is a limited access state highway. We believe that in working together with the City we have come to an acceptable solution for this property, development and area.

14.38.100 Signs

- (a) Purpose and Application. Ensure that signage provides effective advertising and identification with appropriate design, scale, and placement. Developments within the subareas are subject to the sign regulations found in Chapter 14.68 and applicable design guidelines, except when this chapter modifies the standard municipal code requirements.
- (b) Allowed Signs.
 - (3) Informational/directional signs.
 - (8) wall signs.

Response: Costco is only proposing wall signs and directional signs. No freestanding or projecting signs are proposed.

- (d) Projecting/Suspended Signs, Wall Signs, and Window Signs.
 - (1) Table 14.38-IV establishes the dimensional and quantitative requirements for projecting/suspended signs, wall signs, and window signs.
 - (3) Wall Signs.
 - (i) Wall signs shall be generally located in the storefront area above the main entrance along primary facades and beneath the roofline or cornices on secondary facades;

- (iii) Wall signs shall be generally centered between defined architectural elements and may not extend beyond defined architectural features;
- (iv) Wall signs may be located on building focal points, if the sign does not extend beyond defined architectural features;
- (v) Wall signs shall not project more than 10 inches from the building;
- (vi) Wall signage may be located on awnings and marquees or similar structures only when the design of the building facade prohibits wall signs on the storefront facade and the signage does not extend beyond defined architectural features; and
- (vii) The wall sign area calculation is defined in Table 14.38-IV and the maximum area will be based on the size of the associated gross business area, as follows:
 - c. Over 15,001 gross square feet: 192 square feet.
- (viii) Sign area is not transferable.

Table 14.38-IV Sign Standards

Sign Type ¹		CD ²
Wall ³	Sign Area	Main: 15% of building facade Secondary: 10% of building facade
	Maximum Number	1 per facade ⁴ 3 facades may have signs

Notes:

3. Wall sign calculation: the facade area (first 12 feet of the building height) multiplied by the total facade length or leasable frontage for multi-tenant buildings (example: [12 x 30 = 360] [360 x 15% = 54 sq. ft.]). The sign calculation for second story signage would be the leasable frontage multiplied by the height of the story (example: [12 x 20 = 240] [240 x 15% = 36 sq. ft.]).

4. Building over 15,000 gross square feet, with a primary facade length over 100 linear feet, may have two signs along the primary facade for the primary businesses and one sign per enclosed secondary business. Sign area for all signs will be included in the maximum sign area.

Response: In designing the exterior of the Costco warehouse we intentionally use the building materials and colors to create areas around the building that can be used as a

backdrop for our wall mounted signage. We also pay particular attention to the scale of these areas. For any building, a sign that is too large or too small creates problems related to readability and clarity. We want Costco's warehouse signage to be properly scaled with the building to minimize legibility concerns. We are also concerned with having signs that are too big and become offensive. To that end we are proposing only two Costco signs on the warehouse. The Fuel facility will have two signs as well. Additional informational/directional signage is also proposed. Our signage complies with all the code standards listed above with the exception of the maximum area of 192 sf. We respectfully request that the provisions of Lake Stevens sign code, LSMC 14.68.060, be considered which would allow for 12,750 sf of signage to be permitted for a building of this size (170,000 sf) and 1,467 sf of signage to be permitted on the east wall of this building (326' x 30'*.15). We are proposing two Costco signs with a total of just over 400 sf and an additional directional sign that takes the total to just under 450 sf of signage.

14.38.110 Design Standards and Guidelines

All development within the subarea districts shall comply with the adopted Subarea Design Guidelines.

Response: Costco's building, site and surroundings have been designed in collaboration with the City to comply with the Subarea Design Guidelines. Compliance with the Subarea Design Guidelines are discussed below.

A. Pedestrian Orientation & Streetscape

1. Pedestrian Oriented Zone – Commercial buildings shall be set as close as possible to the sidewalk, subject to LSMC 14.38.040, but provide enough space for pedestrian uses. Structures with a defined street orientation must provide a pedestrian area behind the sidewalk and edge of the building that includes at least two of the following elements to compliment the intended use: Accent lighting, Public artwork, Special paving, Site furnishings, Outdoor dining areas,

Response: Costco's proposed warehouse will be located fairly closely to 24th St SE with only landscaping located between the sidewalk and the building. However, due to the grades associated with the roads and the Costco site, the building will be approx. 6 feet higher than the sidewalk and separated from it with a 6' retaining wall and associated landscaped setback. For that reason, we have not designed the building to face the road with front doors and pedestrian oriented features. The building will have multiple materials, colors and textures together with attractive landscaping to enhance the pedestrian experience along the sidewalk.

2. Street Landscaping – all developments must provide landscaping along the street appropriate to the applicable street network identified in the Subarea Plan and according to the City’s Engineering Design and Development Standards (EDDS).

Response: Our landscape plan demonstrates our commitment to complying with this requirement.

3. Setbacks: Commercial buildings shall be set as close as possible to the sidewalk, but provide enough space for pedestrian uses and amenities, as described in Section II.A, subject to the following.

Response: Costco’s warehouse is proposed to be located along their south property line adjacent to 24th St SE. We will also be installing a 11’ wide multi-use path with planting strip and street trees in compliance with the City’s requirements for this area.

4. Site Landscaping – all developments are encouraged to provide distinctive landscape elements, comprised primarily of hardy, attractive, and easily maintained native Northwest plants, appropriate to the scale of development, within pedestrian oriented areas that may include a mix of the following elements: Planter beds, Planters or large pots, Hanging baskets, Special features

Response: The landscape plan submitted with our application demonstrates compliance with this requirement.

5. Drive-through Uses

Response: The only portion of the proposed development that may qualify as a Drive Through Use is the Fuel Facility. For that function significant queues have been provided to ensure that backups will not impact traffic flow elsewhere on the site or in the public ROW.

B. Architectural Landmarks & Gateways

1. Structure – developments situated at the intersection of two arterial streets or an arterial street and a collector street shall include an enhanced structure on the corner to mark that location as an architectural landmark.

Response: It is our understanding that no enhanced structure is required for this development.

C. Plazas, Courtyards, & Seating Areas

1. New or renovated buildings shall provide plazas, courtyards, or other pedestrian spaces at or near their main entrances.

3. Pedestrian spaces should be a minimum of one square foot of plaza per 100 square feet of building area.
4. Plazas, courtyards and other pedestrian spaces should include at least one of the landscape elements from II.A.4.
5. Plaza or courtyard should include public seating, such as benches, tables, or low seating walls. When public seating is provided, the area must contain at least three feet of seating or one individual seat per 100 square feet of the plaza or courtyard.
6. Covered plazas or partially covered plazas are encouraged to allow year-round use.

Response: For a 170,000 sf building, this requirement would indicate an outdoor Plaza/Courtyard of at least 1,700 sf with at least 17' of benches. Costco's entry canopy and surrounding courtyard complies with this requirement. It provides a 7,500 sf entry plaza that includes a covered arcade of approximately 4,000 sf. 84 lineal feet of benches are integrated into the columns of the arcade.

D. Lighting

1. Street Lights

- a. Pedestrian-scaled lighting, generally below 16 feet, is required along streets and in plazas and courts.
- b. Use city-approved street light fixtures along street frontages.
- c. Provide complementary lighting fixtures throughout the subarea, that enhance the area's architecture and character, including but not limited to pathway, accent, bollards, parking lot, and wall mounted light fixtures

2. Site Lighting

- a. Accent lighting may be incorporated in design to draw attention to special building and/or landscape features.
- b. Up-lighting on trees and provisions for seasonal lighting are encouraged.
- c. Exterior lighting fixtures shall be high quality, incorporate architectural detail, and maintain a pedestrian-scale that enhances the site's architecture and character.

Response: Street lighting will be provided to meet City standards for street lighting. All Site and building lighting will be full cut off down fixtures that are consistent with the architectural style of the building and the site.

E. Crosswalks & Intersections

- a. Major intersections where two arterial streets or an arterial street and a collector street intersect shall use different materials and textures from the adjacent street paving (e.g., stamped or stained concrete, decorative pervious pavers, etc.) to demarcate crosswalks.
- b. To increase area wide aesthetic appeal, intersection control features, such as raised islands, dividers, etc. must be treated in the following manner:
 - i. When the feature is paved, it must be paved in a different material and texture than the adjacent street paving (e.g., stamped or stained concrete, decorative pervious pavers, etc.); or
 - ii. When the feature is not paved, it must provide special landscaping that may integrate planters with perennials and/or annuals, rock walls, boulders, water features, and/or accent lighting with standard planted materials.

Response: All Right-of-Way improvements will be done in collaboration with the City of Lake Stevens and their engineering department.

F. Pedestrian Connections

- a. Provide clearly defined and convenient pedestrian pathways not less than five feet wide in the following locations:
 - i. Between public rights-of-way and building entrances;
 - ii. Between parking lots and building entrances;
 - iii. Between adjacent developments;
 - iv. Where a transit stop abuts a site include a pedestrian walkway from the main entrance to the transit stop; and
 - v. On sites abutting vacant or underdeveloped land, provide connections for future pathways and sidewalks.

Response: Our site plan shows that we are complying with this requirement.

- b. Pedestrian connections should be clearly defined in a combination of at least two of the following ways:
 - i. Six-inch vertical curb;
 - ii. Trellis;
 - iii. Special railing;
 - iv. Bollards;
 - v. Special paving;
 - vi. Low seat wall and/or other architectural features;
 - vii. Pedestrian scale lighting, bollard lighting, accent lighting, or combination thereof; and/or
 - viii. Continuous landscape area (minimum three-foot width) on at least one side of the walkway, except where the walkway crosses vehicular travel lanes.

Response: Our on-site pedestrian walkways will use a mixture of 6" vertical curbs, special paving, bollards and landscape strips to clearly identify pedestrian connections.

G. Parking Lots

1. Parking Lot Configuration & Screening

- a. Locate parking lots behind buildings, when possible.
- b. Where parking lots remain in front of or beside buildings, parking lots shall be screened adjacent to the right-of-way with one of the following treatments:
 - i. Low walls made of concrete, masonry, or similar material not to exceed a total height of three feet, within a minimum five-foot landscape bed that contains a mix of trees and shrubs per Section 14.38.070 LSMC; and
 - ii. Raised planters made of concrete, masonry, or similar material not to exceed a total height of three feet including planter and landscape material that contains a mix of trees and shrubs per Section 14.38.070; and
 - iii. A minimum 10-foot wide landscape buffer per Section 14.38.070.

c. Fencing around parking lots shall be allowed if the following conditions are met:

- i. The fence does not exceed a maximum height of six feet and any portion higher than three feet must be 75% transparent;
- ii. The fence compliments the material or architectural style used in the development; and
- iii. Chain link fencing, coated or uncoated, shall not be used on any street frontage, adjacent public sidewalk or adjacent to a residential or pedestrian area, but may be allowed in service areas not visible to the public.

Response: A significant portion of our parking lot is tucked behind our building away from the public road. Where the parking field is adjacent to the public road a significant landscape buffer is proposed to screen the parking. The grades of the site in many cases also creates additional separation from the adjacent road due to the parking lot being significantly above or below the adjacent ROW. No fencing is proposed except for in cases where it is required at the tops of retaining walls for safety purposes.

2. Parking Lot Landscaping

- a. Provide landscaping within all parking areas to reinforce circulation patterns, especially at entrances, the ends of drive aisles, and along pedestrian walkways and streetscape.
- b. Provide a mix of evergreen and deciduous trees and shrubs, annuals and perennials, and groundcover to provide multi-seasonal interest, color, and texture as a unifying design element to frame human-made elements with a natural backdrop.
- c. Encourage the use of hardy, attractive, and easily maintained native Northwest plant material to conserve water.
- d. As feasible, it is strongly encouraged that all developments consider using required landscape areas to augment the developments stormwater system with Low Impact Development techniques, such as rain gardens as seen in the city's EDDS document.

Response: Our proposed landscape plan reinforces circulation patterns on site. It is made up of a mixture of evergreen and deciduous plants that are northwest natives and drought tolerant.

H. Screening of Trash & Service Areas

1. Service Areas

- a. Locate service areas away from primary pedestrian areas, such as near the rear of a building or off an alley, when possible.
- b. Loading and service areas shall not face any residential district, public street or plaza space; unless no other location is possible.
- c. Consolidate garbage/recycling dumpsters.
- d. Screen all visible service, loading and trash collection areas by a combination of plantings and architectural treatments.
- e. Acceptable screening methods include:
 - i. A masonry or wood enclosure that reflects the primary building's architecture, including but not limited to consideration of proportion, color, texture, and materials (chain link fencing with complementary colored slats are acceptable on gates);
 - ii. Five-foot wide landscape screen per 14.76.040(a)(2); or
 - iii. Other treatment approved by the City.

Response: Costco's trash and service areas for the site are located on the back side of the building. They are also screened from the 91st Ave ROW by landscape bed that is at least 15' wide. Further, their approach for dealing with garbage is to use compactors that are entirely enclosed and filled via chutes from inside the building. Trucks will pick them up and return them. No garbage will visible to the public.

BUILDING DESIGN

A. Primary Orientation

- a. Orient windows, main entrances, and other principal building elements toward the street to strengthen the pedestrian oriented environment and street front pattern.
- b. Storefronts, windows, merchandise, and other aspects of business activity should be visible to people traveling along streets or along primary facades inside shopping centers.
- c. Buildings, landscaping, and other public amenities (e.g., accent lighting, outdoor dining areas, drinking fountains, distinctive paving, public art and/or water features, etc.) should be the predominant site features, rather than parking lots.

- d. Buildings/businesses facing a public street on one side and a parking lot, pedestrian pathway, and/or street on other sides, are strongly encouraged to provide a secondary entry from the parking lot, pedestrian pathway, or alley.

Response: Costco's main entrance is oriented towards Highway 9 the primary street. The Tire Center and entry arcade both use glass roll up doors which create the storefront look described above.

B. Ground Level Details

1. Entrances

- a. Principal building entrances shall be visible from the street or primary façade and marked by at least one of the following elements:
- i. Large entry doors;
 - ii. Recessed entrance;
 - iii. Protruding entrance; or
 - iv. Portico, arcade, or like.
- b. Principal building entrances should be further enhanced with a change in material, color, or texture.

Response: Costco's main entry is oriented towards the main public street and site entry. The entry canopy is raised above the main entrance creating an entry expression and providing intuitive wayfinding for potential customers. Rich materials, colors and textures are proposed to further emphasize the main entrance.

2. Weather Protection

- a. Principal building entrances and primary facades shall incorporate weather protection with a minimum depth of five feet) such as awnings, canopies, pergolas, etc. that meet the following requirements:
- i. The weather protection features shall extend along a minimum of 75% of the ground floor façade;
 - ii. The vertical dimension between the underside of a canopy and the sidewalk or entry pathway shall be at least eight feet and no more than 12 feet; and

- iii. Plastic or similar low-quality materials are not allowed for weather protection features.

Response: Costco's entry canopy provides weather protection for their customers as they approach the front door. It is integrated into the design of the building and complies with items ii, and iii. It does not comply with the requirement to extend weather protection along 75% of the ground floor façade.

3. Facade Details

- a. Principal building entrances and primary facades of commercial and mixed-use buildings shall project a pedestrian-friendly design by including at least three of the following elements:
 - i. Kickplates and transoms for storefront windows;
 - ii. Projecting window sills;
 - iii. Pedestrian scale signs;
 - iv. Plinths, pedestals, or similar features;
 - v. Seasonal hanging baskets supported by ornamental brackets;
 - vi. Pedestrian-oriented lighting; and
 - vii. Architectural details that may include ornamental tile work medallions, or similar.

Response: Several of the above elements are used around the perimeter of the Costco warehouse to give the building pedestrian friendly design features. A storefront is used at the main entry. Plinths and pedestals are used around the building to create a pedestrian scale, building lighting and architectural details are also used to enhance the pedestrian experience.

- b. Windows:

- i. Storefront windows shall cover approximately 75 percent of the façade, between two feet and eight feet above, grade where the primary façade fronts a commercial street to retain visual continuity with the street.

- ii. Within retail centers and in business parks, where the primary orientation is not a commercial street, structures should include storefront windows as integral design elements with consideration to form and function.

Response: NA The primary façade does not front a commercial street so the 75% requirement does not apply. However, the entry canopy and Tire Center both use glass roll up doors to create the storefront presence described above.

- c. When a building has a public secondary façade, the secondary façade shall include the following elements:
 - i. Visible and easily accessible entries, architecturally related to the main entry;
 - ii. Weather protection over entries;
 - iii. Storefront windows, between two feet and eight feet above grade, covering approximately 50% of the portion of the façade at entries; and
 - iv. At least two of the elements in section III.B.3.a

Response: NA There is not a public secondary façade.

4. Blank Wall Treatments

- a. Blank walls longer than 30 feet facing streets or visible from pedestrian or residential areas shall incorporate at least two of the following:
 - i. Substantial landscaping that may include trees, shrubs, ground cover and/or planters or trellises with vines or similar vegetation adjacent to the wall;
 - ii. Architectural detailing, reveals, contrasting materials or other special visual interest;
 - iii. Integrated artwork, such as bas-relief or sculpture;
 - iv. Display windows; and
 - v. Other treatment approved by the City.

Response: The south and west elevations may be determined to be blank walls. As such we have been careful to break the building façade into multiple pieces in an effort to minimize its impact. Substantial landscaping using trees and significant shrub help interrupt views of these facades. The southern elevation is also separated from the walking trail with a six foot tall retaining wall further minimizing the impact of that elevation on pedestrians. Multiple

materials, colors and textures are proposed to create an interesting architectural composition along these street front elevations.

C. Massing & Articulation

1. Massing

- a. Buildings above 30 feet in height must provide a defined building top, middle, and base.
 - i. The base will include distinct architectural features, masonry, and colors. For the Downtown Subarea, colors should use natural earth tone colors and emphasize materials in their natural form where possible.
 - ii. The middle of the building will include a change in materials or color, or inclusion of distinct windows, balconies, stepbacks and signage.
 - iii. The top of the building will emphasize a distinct profile or outline with elements such as a projecting parapet, cornice, upper level setback or pitched roofline.

Response: Costco's building is 29'-33' tall. We have included a concrete and masonry base around the entire building that ranges from 3'-10' in height. Multiple profiles of cornice have also been incorporated in the design to give the building additional character where it meets the sky. The body of the building includes complimentary colors, textures and profiles of metal panels to provide interest and depth to the façade of the building.

2. Articulation

- a. Horizontal building façades shall include articulation, at least every 30 feet, along façades that face streets and/or where the primary entrance is oriented to a parking lot to visually divide the façade with at least three of the following methods:
 - i. Varied building heights, roof forms, and orientation;
 - ii. Changes in building material;
 - iii. Changes in building color;
 - iv. Different window types, including bay windows; and/or
 - v. Project, recess, and/or offset portions of the façade to a minimum depth 18 inches with a width of four feet.

Response: The proposed building design includes multiple building heights and changes in building materials and colors. Although the changes don't happen every 30', we believe the proposed intervals are appropriate for the building size and design. Changing these elements every 30' on a building this size would result in a building that is overly busy and chaotic from a design perspective.

D. Architectural Character

1. Design Concept

- a. Establish vibrant contemporary urban districts that use high quality, modern building materials and methods to create a visual identity that is distinct from historic architectural styles.
- b. Create a varied, non-homogenous set of buildings within each neighborhood and throughout the district.
- c. Architectural design for commercial and mixed-use buildings should minimize corporate architecture.
 - For example, some fast food franchises have specific architectural features that reinforce their identity.
 - Buildings that function as signs are discouraged because they are difficult to adapt to other future uses.

Response: The proposed building is a high quality building using modern materials that will work well for Costco and could be repurposed in the future if needed. It will be energy efficient and sustainable in both its construction and operation.

Please feel free to contact me at 206-962-6614 or email me at steve.bullock@mg2.com if you have any questions.

Sincerely,



Steve Bullock
MG2

PROJECT DATA Exhibit 2

CLIENT: COSTCO WHOLESALE
 999 LAKE DRIVE
 ISSAQUAH, WA 98027

PROJECT ADDRESS: SWC OF SR 9 & 20TH ST S.E.
 LAKE STEVENS, WA

SITE DATA:

COSTCO SITE AREA: 21.67 ACRES (943,862 SF)
 CITY ROW AREA: 3.68 ACRES (160,162 SF)
 STORMWATER FACILITY AREA: 3.70 ACRES (161,193 SF)
 WETLAND/MITIGATION AREA: 6.90 ACRES (300,702 SF)
 OUTLOT 1: 0.79 ACRES (34,205 SF)
 TOTAL SITE AREA: 36.74 ACRES

JURISDICTION: CITY OF LAKE STEVENS

ZONING: COMMERCIAL DISTRICT (CD)

SETBACKS:	REQUIRED	ACTUAL
FRONT:	TBD	TBD
SIDE:	TBD	TBD
REAR:	TBD	TBD

BUILDING DATA

TOTAL BUILDING FOOTPRINT AREA: 158,755 SF

INCLUDES:	AREA
WAREHOUSE MAIN LEVEL	150,410 SF
FIRE DEPT ROOM	425 SF
MECHANICAL ROOM	1,492 SF
ENVELOPE / EXTERIOR WALL	1,608 SF
ENCLOSED CANOPY	4,820 SF

PARKING DATA:

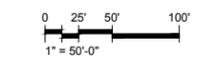
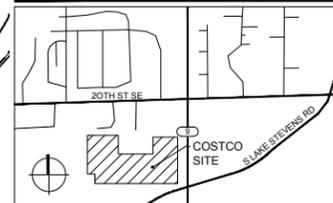
TOTAL PARKING: 809 STALLS

INCLUDES:	STALLS
⊙ 10' WIDE STALLS	791 STALLS
⊕ ACCESSIBLE STALLS	18 STALLS

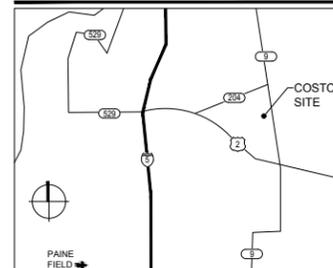
NUMBER OF STALLS PER 1000 SF OF BUILDING AREA: 5.09 STALLS

NOTES:
 EXISTING CONDITIONS TO BE FIELD VERIFIED.

VICINITY MAP



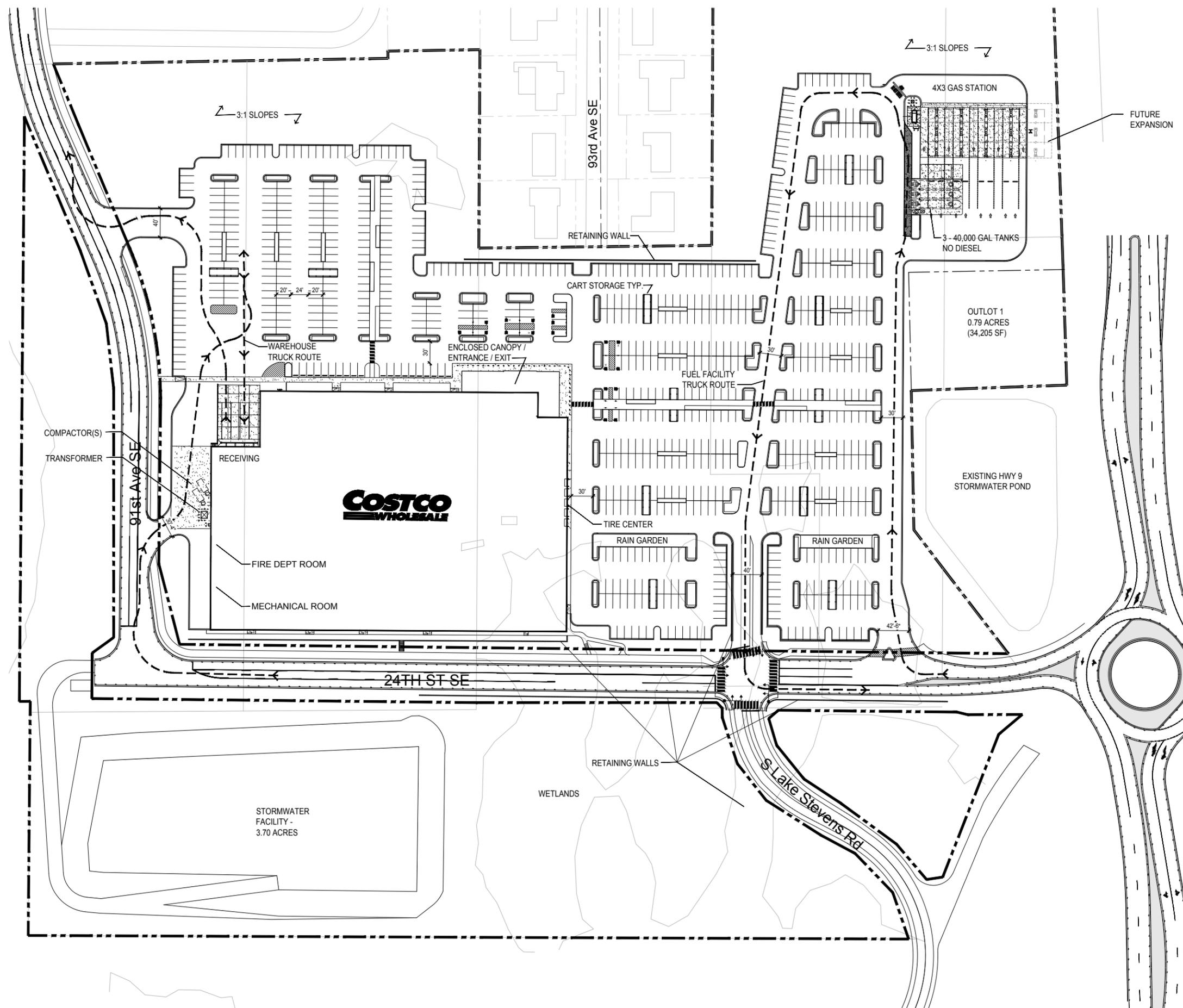
REGIONAL MAP



17-0085-01
 OCTOBER 30, 2019

CONCEPT
 SITE PLAN

DD11-09



COSTCO WHOLESALE

LAKE STEVENS, WASHINGTON

CONCEPT SITE PLAN

OCTOBER 30, 2019

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999 LAKE DRIVE
ISSAQUAH, WA 98027

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TOTAL SITE AREA: 36.74 ACRES

JURISDICTION: CITY OF LAKE STEVENS

ZONING: COMMERCIAL DISTRICT (CD)

SETBACKS:	REQUIRED	ACTUAL
FRONT:	TBD	TBD
SIDE:	TBD	TBD
REAR:	TBD	TBD

BUILDING DATA

TOTAL BUILDING FOOTPRINT AREA: 158,755 SF

INCLUDES:	AREA
WAREHOUSE MAIN LEVEL	150,410 SF
FIRE DEPT ROOM	425 SF
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ENCLOSED CANOPY	4,820 SF

PARKING DATA:

TOTAL PARKING: 809 STALLS

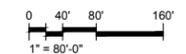
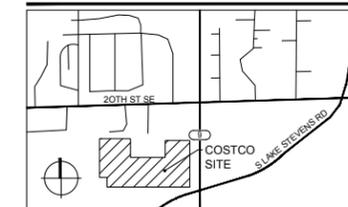
INCLUDES:	STALLS
10' WIDE STALLS	791 STALLS
ACCESSIBLE STALLS	18 STALLS

NUMBER OF STALLS PER 1000 SF OF BUILDING AREA: 5.09 STALLS

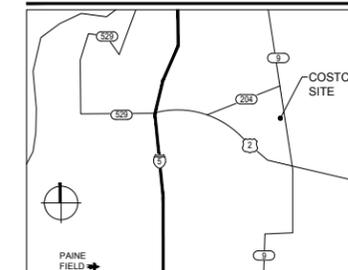
NOTES:
EXISTING CONDITIONS TO BE FIELD VERIFIED.



VICINITY MAP



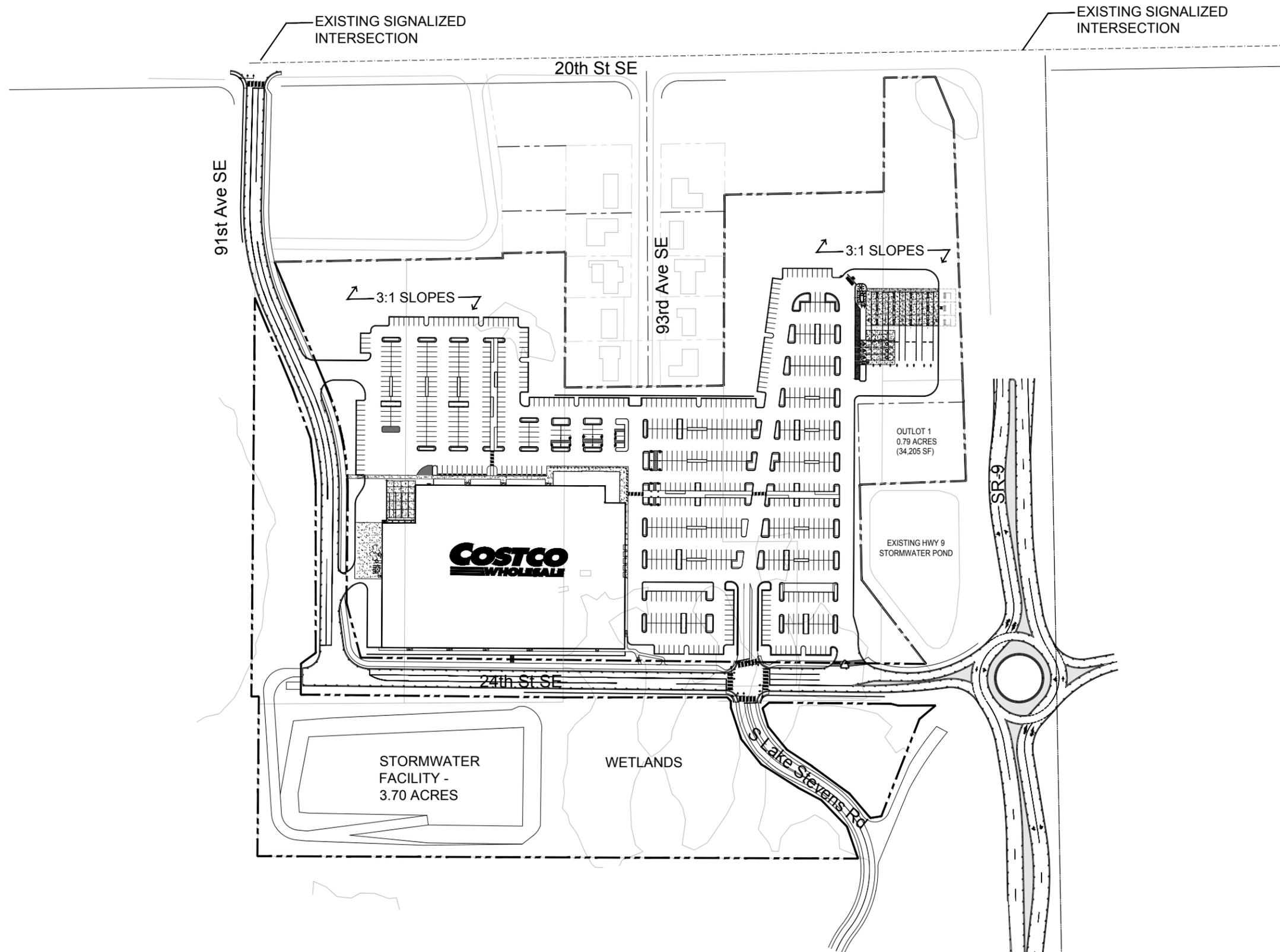
REGIONAL MAP



17-0085-01
OCTOBER 30, 2019

OVERALL SITE PLAN

DD12-09



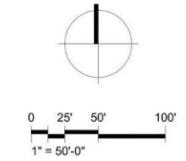
COSTCO WHOLESALE

LAKE STEVENS, WASHINGTON

OVERALL SITE PLAN

OCTOBER 30, 2019

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SEE SHEET L1.2 FOR
LANDSCAPE LEGEND & DETAILS

WEISMANDESIGNGROUP

LANDSCAPE ARCHITECTURE 2329 E MADISON ST SEATTLE WA 98112 206-322-1732 WWW.WDGINC.COM

17-0085-01
SEPTEMBER 20, 2019

PRELIMINARY
LANDSCAPE
PLAN

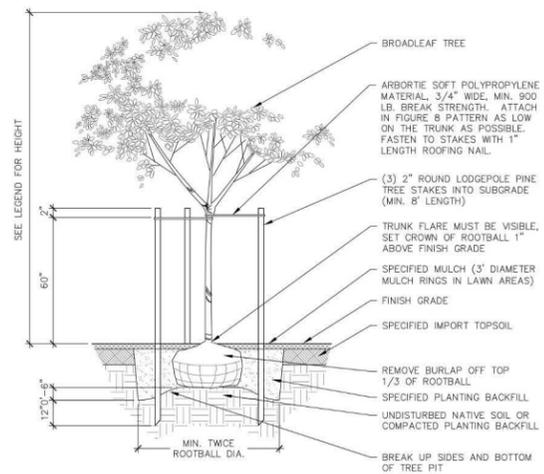
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COSTCO WHOLESALE

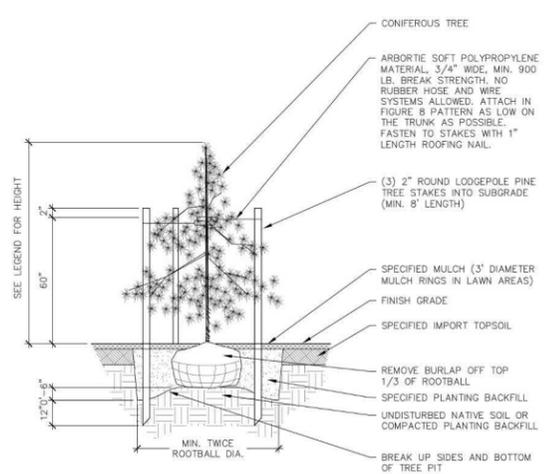
LAKE STEVENS, WASHINGTON

PRELIMINARY LANDSCAPE PLAN

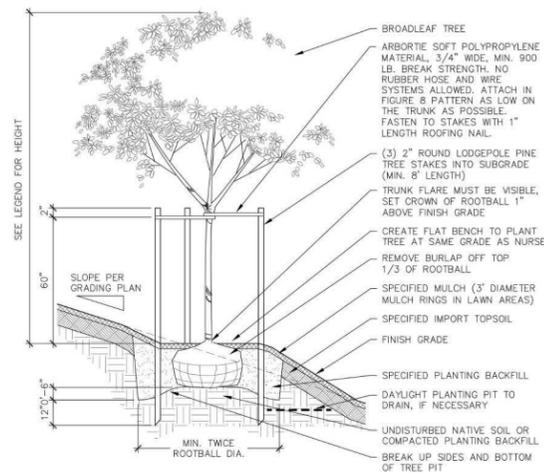
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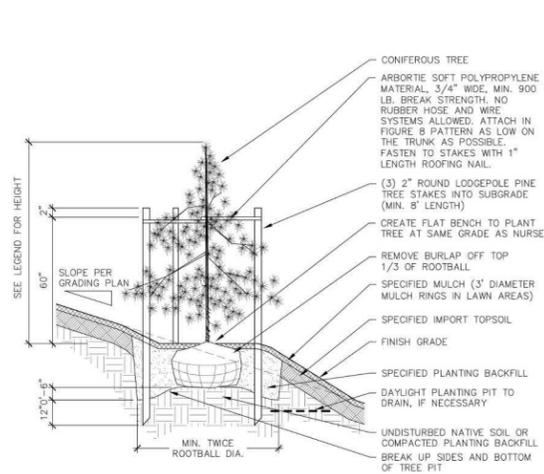
A DECIDUOUS TREE PLANTING Scale: 3/8"=1'-0"



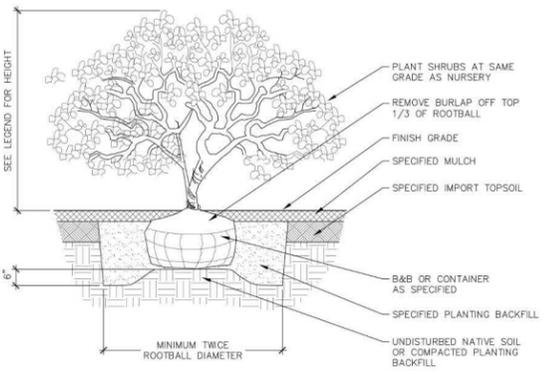
B CONIFEROUS TREE PLANTING Scale: 3/8"=1'-0"



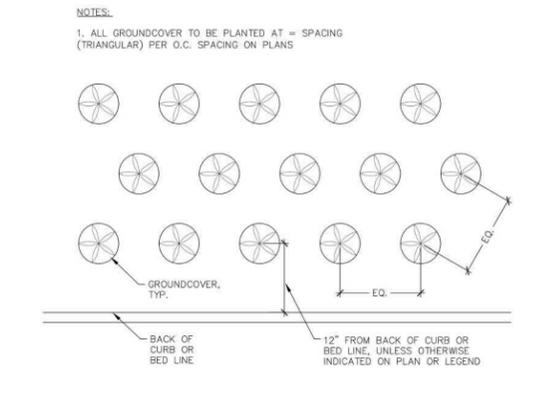
C DECIDUOUS TREE PLANTING ON SLOPE Scale: 3/8"=1'-0"



D CONIFEROUS TREE PLANTING ON SLOPE Scale: 3/8"=1'-0"



E SHRUB / GROUNDCOVER PLANTING Scale: 1/2"=1'-0"



F GROUNDCOVER SPACING Scale: 1"=1'-0"

PRELIMINARY LANDSCAPE LEGEND (SYMBOLS SHOWN AT 1"=20')

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / CONDITION
DECIDUOUS STREET TREES			
LARGE DECIDUOUS TREES			
	ACER TRUN. X ACER PLAT. 'WARRENRED'	PACIFIC SUNSET MAPLE	MIN. 2-1/2" CAL., MIN. 12-14' HT., MATCHED, FULL & WELL-BRANCHED ABOVE 6' HT., B&B.
	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	MIN. 2-1/2" CAL., MIN. 12-14' HT., MATCHED, FULL & WELL-BRANCHED ABOVE 6' HT., B&B.
	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO (MALE ONLY)	
	GLEDITSIA T. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	
	LIRIODENDRON TULIPIFERA	TULIP TREE	
	QUERCUS RUBRA	RED OAK	
	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	
SMALL ACCENT TREES			
	ACER CIRCINATUM	VINE MAPLE	MIN. (3) 3/4" CAL., 7'-8' HT., MULTI-TRUNKED, MATCHING SPECIMEN, WELL-BRANCHED, B&B.
	CORNUS NUTTALLII	PACIFIC DOGWOOD	
CONIFEROUS EVERGREEN TREES			
	CALOCEDRUS DECURRENS	INCENSE CEDAR	MIN. 7'-8' HT., FULL AND BUSHY TO BASE, B&B
	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	
	THUJA PLICATA 'HOGAN'	HOGAN RED CEDAR	
LARGE SHRUBS			
	ARBUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	24-30" HT., FULL & BUSHY, B&B OR CONT., SPACING AS SHOWN.
	CORNUS SERICEA	RED OSIER DOGWOOD	
	MAHONIA AQUIFOLIUM	OREGON GRAPE	
	RIBES SANGUINEUM	RED FLOWERING CURRANT	
	ROSA NUTKANA	NOOTKA ROSE	
	SYMPHOCARPUS ALBUS	COMMON SNOWBERRY	
MEDIUM SHRUBS			
	CORNUS SANGINEA 'MIDWINTERFIRE'	MIDWINTERFIRE DOGWOOD	MIN. 5 GAL. CONT., 21-24" HT. AND SPREAD, FULL AND BUSHY, SPACING AS SHOWN.
	EUONYMUS A. 'COMPACTA'	COMPACT BURNING BUSH	
	PHYSOCARPUS CAPITATUS	PACIFIC NINEBARK	
	ROSA RUGOSA	RUGOSA ROSE	MIN. 5 GAL. CONT., 18-21" HT. AND SPREAD, FULL AND BUSHY, SPACING AS SHOWN.
	MAHONIA A. 'COMPACTA'	COMPACT OREGON GRAPE	
	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	
SMALL SHRUBS			
	CORNUS KELSEYI	KELSEY DOGWOOD	MIN. 2 GAL. CONT., MIN. 15" HT. & SPREAD, FULL & BUSHY, SPACING AS SHOWN.
	GAULTHERA SHALLON	SALAL	
	PINUS M. MUGO	DWARF MUGHO PINE	
	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	
	VIBURNUM DAVIDII	DAVID VIBURNUM	
ORNAMENTAL GRASSES / ACCENTS			
	CALAMAGROSTIS A. 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL. CONT., FULL & BUSHY, SPACING AS SHOWN.
	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	
	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	
	POLYSTICHUM MUNITUM	SWORD FERN	
GROUNDCOVERS			
	ARCTOSTAPHYLOS UVA-URSI	KINNIKINICK	1 GAL. CONT. AT 18" O.C. TRIANG. SPACING, START FIRST ROW 12" FROM EDGE.
	FRAGARIA CHILOENSIS	WILD STRAWBERRY	
NATIVE GROUNDCOVER MIX:			
	GAULTHERA SHALLON	SALAL	1 GAL. CONT. AT 18" O.C. TRIANG. SPACING, START FIRST ROW 12" FROM EDGE. EQUAL QUANTITIES OF EACH. PLANT IN GROUPS OF 5-7 IN RANDOM DRIFTS.
	MAHONIA REPENS	CREeping MAHONIA	
	POLYSTICHUM MUNITUM	SWORD FERN	
	SOD LAWN		COUNTRY GREEN 'PERFECT GREEN' TURF BLEND, SEE SPECIFICATIONS
	ROUGH SEED		
	ALUMINUM EDGING		
	REPLACEMENT TREES		1 GALLON SIZE NATIVE SPECIES AT 8' O.C. SEE CALCULATIONS FOR QUANTITIES.
	RAIN GARDEN PLANTING MIX		1 GAL. CONT. AT 18" O.C. BIO-RETENTION SOIL DEPTH AND REQUIREMENTS PER CIVIL.

LANDSCAPE CALCULATIONS

TOTAL COSTCO SITE AREA =	21.67 ACRES (943,862 S.F.)
TOTAL VEHICLE ACCOMMODATION AREAS =	457,670 S.F.
SHADED AREA REQUIRED =	91,534 S.F. (20%)
SHADED AREA PROVIDED =	129,632 S.F. (28%)
ISLANDS WITH 2 TREES =	65 x 1,265 S.F. EACH = 82,225 S.F.
ISLANDS WITH 1 TREE =	29 x 707 S.F. EACH = 20,503 S.F.
PERIMETER TREES =	76 x 354 S.F. EACH = 26,904 S.F.
TOTAL NUMBER OF NEW TREES PROVIDED ON SITE =	400+
EXISTING TREE MITIGATION	
EXISTING TREES TO BE REMOVED =	1,814
(REFER TO SURVEY BY AMERICAN FOREST MANAGEMENT DATED 3/27/18)	
REPLACEMENT TREES REQUIRED (1 GAL. SIZE) =	5,442 (1,814 X 3)
REPLACEMENT TREES PROVIDED ON SITE =	1,714 (95,000 S.F. AT 8' O.C.)
REPLACEMENT TREES PROVIDED ON S.R. 9 ROW =	540 (30,000 S.F. AT 8' O.C.)
REMAINDER OF REPLACEMENT TREES TO BE PROVIDED OFF SITE OR BY MITIGATION FUND =	3,188

PLANTING NOTES

- ALL NEW LANDSCAPE AREAS ARE TO BE WATERED WITH AN AUTOMATIC WATER CONSERVING IRRIGATION SYSTEM. SEE IRRIGATION PLANS.
- MULCH ALL SHRUB AND GROUNDCOVER AREAS WITH A MINIMUM 3" DEPTH OF SPECIFIED MULCH.
- WHERE GROUNDCOVER IS SHOWN, IT SHALL BE PLANTED AT THE SPECIFIED SPACING THROUGHOUT THE BED, INCLUDING AREAS UNDERNEATH TREES AND SHRUBS, START FIRST ROW 12" FROM EDGE OF BED.
- SEE CIVIL DRAWINGS FOR GRADING, UTILITIES AND EROSION CONTROL.
- CONTRACTOR SHALL PROVIDE DIGITAL PHOTOS OF A REPRESENTATIVE TREE, SHRUB, OR GROUNDCOVER FOR ALL MATERIALS IN LEGEND BELOW FOR LANDSCAPE ARCHITECT REVIEW AND ACCEPTANCE PRIOR TO PROCUREMENT. THIS SHALL ESTABLISH THE STANDARD FOR APPROVED MATERIAL.
- INSTALL ROOT BARRIERS AT ALL INTERIOR PLANTING AREAS WITHIN 3' OF TREES, AND ALONG ALL STREET TREES WITHIN PLANTER STRIPS, 20' TOTAL LENGTH ON EACH SIDE OF TREE.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

ADDITIONAL NOTES FOR PRICING OF PRELIMINARY LANDSCAPE PLAN:

- ALL PLANT MATERIALS TO BE OF THE HIGHEST QUALITY. PROVIDE DIGITAL PHOTOS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PROCUREMENT.
- INSTALL MINIMUM 8" DEPTH HIGH QUALITY IMPORT TOPSOIL. USE ADDITIONAL TOPSOIL AS NEEDED TO CROWN BEDS MINIMUM 6" ABOVE ADJACENT CURBS.
- IMPORT TOPSOIL SHALL BE SELECT, FERTILE, SCREENED (1/2"), WELL-DRAINED, WEED-FREE, BALANCED MATERIAL COMPOSED OF SAND, COMPOST AND A SMALL AMOUNT OF CLAY/SILT TO BE CLASSIFIED AS SANDY LOAM UNDER USDA CLASSIFICATION. TOPSOIL SHALL BE TESTED AT APPROVED TESTING LAB FOR CONFIRMATION OF SOIL TEXTURE AND CLASSIFICATION. IF CLASSIFIED AS SANDY LOAM, THEN TEST FOR PH, TRACE MINERALS, SALINITY, N, P, K AND AMENDMENT RECOMMENDATIONS TO ACHIEVE A PH-BALANCED FERTILE TOPSOIL WITH MINIMUM 6% ORGANIC MATERIALS DERIVED FROM VEGETATIVE COMPOST. INCORPORATE STARTER FERTILIZER AND PLANT TABS PLUS FERTILIZER AND SOIL AMENDMENTS AS RECOMMENDED IN REPORT AT NO ADDITIONAL COST.
- ALL LANDSCAPE AREAS TO BE PROVIDED WITH A IRRIGATION SYSTEM INCLUDING THE FOLLOWING ITEMS:
 - HUNTER MP-ROTATOR SPRAY HEADS AT PERIMETERS
 - NETAFIM TECHLINE CV DRIP LINES IN INTERIOR
 - SCHEDULE 40 PVC MAINLINE
 - CLASS 200 PVC LATERALS
 - 40 RAINBIRD PEB-PRS-D CONTROL VALVES
 - RAINBIRD ESP-LXD CONTROLLER WITH IQ CLOUD
 - SEPARATE IRRIGATION METER AND BACKFLOW DEVICE WITH ENCLOSURE
 - RAINBIRD ROTORS AT TREE MITIGATION AREAS
- INSTALL 4" PERFORATED SUB DRAINS FOR ALL INTERIOR LANDSCAPE ISLANDS, CONNECTING TO STORM DRAIN SYSTEM.
- REFER TO COSTCO STANDARD PLANTING AND IRRIGATION SPECIFICATIONS AND DETAILS FOR INSTALLATION AND REVIEW REQUIREMENTS.

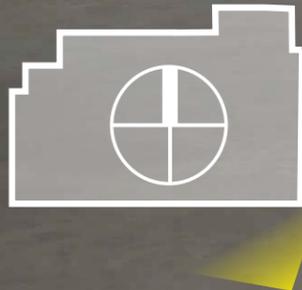








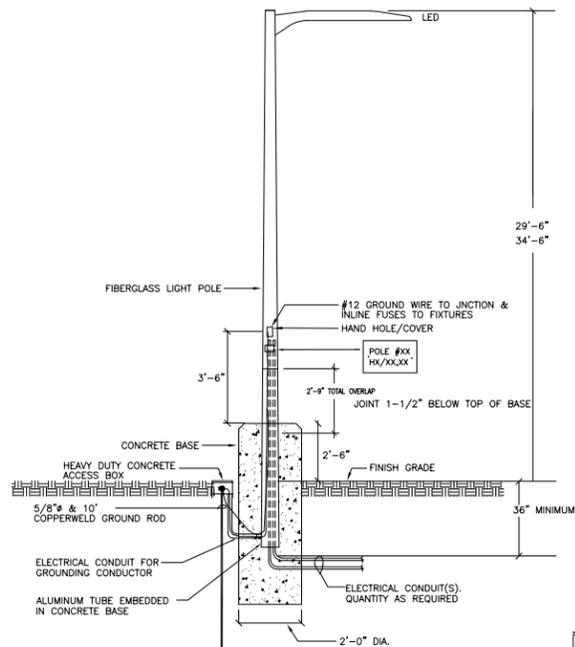
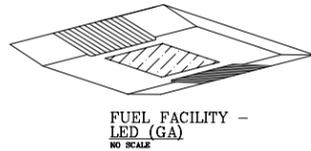
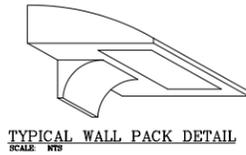






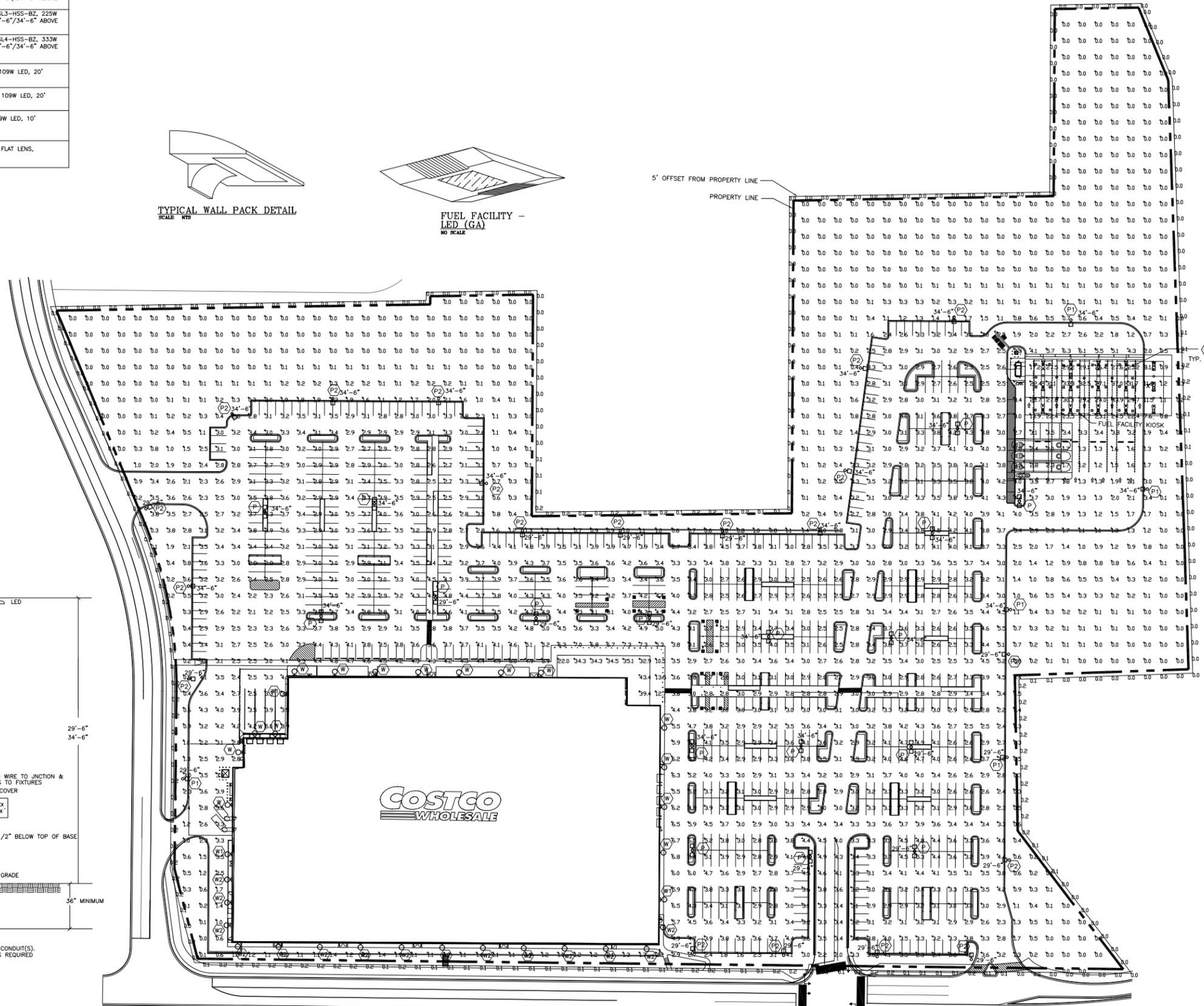
WITH CONCRETE BASE.

FIXTURE DESCRIPTION	
(P)	COOPER GALLEON GLEON-AF-06-LED-E1-SWQ-BZ, 333W TYPE 5 DISTRIBUTION, FIBERGLASS POLE 29'-6"/34'-6" ABOVE GRADE, WITH CONCRETE BASE.
(P1)	COOPER GALLEON GLEON-AF-04-LED-E1-SL3-HSS-BZ, 225W TYPE 2 DISTRIBUTION, FIBERGLASS POLE 29'-6"/34'-6" ABOVE GRADE, WITH CONCRETE BASE.
(P2)	COOPER GALLEON GLEON-AF-06-LED-E1-SL4-HSS-BZ, 333W TYPE 4 DISTRIBUTION, FIBERGLASS POLE 29'-6"/34'-6" ABOVE GRADE, WITH CONCRETE BASE.
(W)	LITHONIA DSXW2 LED 40K 30C 1000 T3M, 109W LED, 20' MOUNTING HEIGHT
(W1)	LITHONIA DSXW2 LED 40K 30C 1000 T3TM, 109W LED, 20' MOUNTING HEIGHT
(W2)	LITHONIA DSXW2 LED 40K 20C 520 T2M, 19W LED, 10' MOUNTING HEIGHT
(GA)	96W LED, SURFACE SYMETRIC DOWN LIGHT, FLAT LENS, 18' MOUNTING HEIGHT



NOTE: PROVIDE CONCRETE J-BOX AS REQUIRED. THIS DETAIL IS FOR ELECTRICAL CONDUITS ROUTING ONLY. SEE STRUCTURAL DRAWINGS S0.2 FOR DETAILS.

POLE DETAIL
SCALE: NTS



SITE PHOTOMETRIC PLAN
SCALE: 1" = 50'-0"

ISSUED FOR QA ONLY

CHECKED: JGM

DRAWN: BWY

REVISION DATE:

ISSUE DATE: APRIL 2019

ARCHITECT REFERENCE NO: 17-0085-01

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PROJECT NO: 19-1180

09/19/19 REVISED

DD PACKAGE



SE-1

T.F., Inc.

830 N. RIVERSIDE DRIVE
SUITE #200
RENTON, WA 98057
PHON: 425-855-3753
FAX: 425-970-3750

LAKE STEVENS, WA

MEMO

To City of Lake Stevens
Melissa Place
From Steve Bullock, MG2
Peter Kahn, Costco
Cc
RE Site Plan and Design Review Comment Response Memo

Date September 17, 2019
Project City of Lake Stevens
New Costco
Warehouse

The attached package responds to the Comment Letter provided by the City to the Costco team on July 9th, 2019 for file Nos. LUA2019-0080 and LUA2019-0081.

Planning & Community Development

Melissa Place, Senior Planner

1. The city received twenty-six written public comments ranging from residents to agencies during the public comment period for the site plan and design review applications. Please see the attached comments.

The Costco team has reviewed the comments, held a neighborhood meeting and continues to coordinate with agencies.

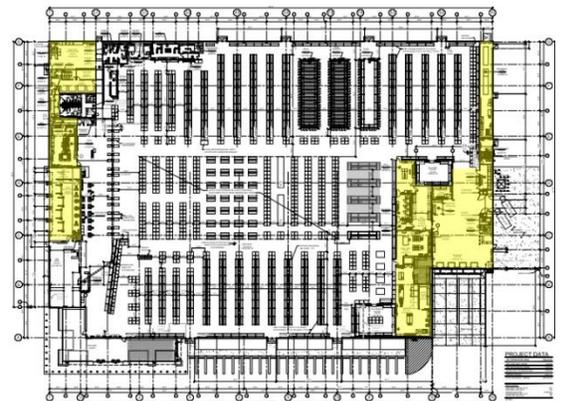
2. The building is proposed over a couple of existing parcels thus formal lot segregation or alteration is required (e.g. binding site plan, boundary line adjustment, or lot consolidation).

A binding site plan was submitted to the city on September 18th that consolidates and creates the lots proposed in this package.

3. Use and dimensional regulations:

- a. The property is zoned Commercial District. Retail trade is a principal use in the district and permissible in the zone. Per LSMC 14.16C.045, warehousing, storage, and distribution accessory to the principal use shall not exceed 25% of the gross floor area of individual structures, unless a conditional use permit is granted. *Please demonstrate compliance with this requirement by identifying the amount of retail trade area versus back of the house operations area.*

Costco has roughly 20,000 sf of “back of house” area. For a building footprint of 158,000 sf that represents less than 15% of the gross floor area.



- b. Building setbacks are 5 feet for front, and 10 feet for side and rear. *The site plan shows compliance with this requirement.*

No response required.

- c. Minimum 5-foot landscape buffer, Type C screen, along the side and rear property lines per LSMC 14.38.040 footnote #7. *The site plan shows compliance with this requirement.*

No response required.

4. Parking:

- a. Minimum of 2 stalls per 1,000 gfa and a maximum of 4 stalls per 1,000 gfa per LSMC 14.38.060.
- b. The site plan shows the project proposes 4.73 parking stalls per 1,000 gfa, which exceeds the maximum allowed per the municipal code. The parking needs assessment from Kittelson & Associates dated May 6, 2019 provides appropriate justification for exceeding the maximum (up to 25%) in accordance with LSMC 14.38.060(c) – Modifications. The parking modification shows compliance with this requirement per the cited section of code.

No response required.

5. Stormwater:

- a. A stormwater report is required with the submittal of the construction plans to demonstrate compliance with LSMC 11.06.040.

Our stormwater report will be submitted with the construction plans/permit applications and will demonstrate compliance with LSMC 11.06.040.

6. Critical Areas:

- a. Please provide one consolidated wetland and stream report addressing the potential inconsistencies (between the four existing reports) identified in the public comments.

An updated Critical Areas Report and Mitigation Plan has been submitted that complies with the City of Lake Stevens Critical Areas Codes in effect at this time.

- b. The city's policy has been to use the 2012 DOE rating system and associated adopted buffer requirements. The city's updated critical areas regulations using the 2014 DOE rating system (updated in July 2018) becomes effective on September 26, 2019.

No response required.

- c. In the new consolidated wetland/stream report, please include a section discussing the proposal's sequencing for critical areas impacts (i.e. avoidance, minimization, reduction and compensation) as per LSMC 14.88.010(a) and 14.88.840(b).

The new Critical Areas Report discuss' the project's sequencing.

- d. Please provide a mitigation plan as per LSMC 14.88.275 and 14.88.840.

A Critical Areas Mitigation Plan has been included in this package.

- e. Please provide the exact numbers associated with proposed direct wetland and stream impacts and those associated with the buffer impacts.

See the included Critical Areas Report and Mitigation Plan.

7. Signage:

- a. Staff is reviewing and considering the request per the design narrative for special consideration consistent with LSMC 14.68.124. This will be discussed in further detail in the design review report.

No response required.

8. Lighting:

- a. Lighting – fixtures exceed 30 feet in height and are not in compliance with 14.38.080(c).
 - i. An administrative deviation allowing a deviation up to 15% of a quantifiable standard may be applied for per LSMC 14.16C.120(c). Please provide a response to the deviation criteria in your request with appropriate application.

We will submit a deviation request for light pole/fixture height.

- b. Sheet SE-1 – the Photometric plan shows light levels likely higher than allowed by municipal code (two-tenths foot candles, measured five feet or beyond from an exterior property line) at the north end of the parking lot adjacent to 93rd Dr SE. Please address to make compliant.

Lighting will be adjusted/moved or shields added to ensure compliance with City Code.

9. Landscaping:

- a. An arborist report is required per LSMC 14.76.120 for any areas where existing vegetation and significant trees will be retained unless unreasonable. Any unprotected significant trees removed shall be replaced with one-gallon-sized native species at a ratio of 3:1 or mitigated through an-lieu fee (or combination). Please provide the calculations for replacement trees / mitigation on the plans.

Tree mitigation calculations are included with the landscape plans.

- b. Irrigation is required per LSMC 14.38.070(c), please provide an irrigation plan with the landscape plan or civil plans.

An irrigation plan will be submitted with the landscape plans when we submit for our construction permits.

- c. Parking areas need to be broken up more by trees/plantings every 10 stalls as per LSMC 14.38.060 Note 5d (4) and (5). See attached redlines.

The additional planting islands have been included in the parking area to address this concern

.

- d. Wheel stops shall be provided in parking spaces adjacent to landscape bed as per LSMC 14.38.060 Note 5d6ii.

Wheel stops or raised curbs will be provided to protect landscape beds adjacent to parking stalls.

- e. Is it possible to use landscape planter strips within the development as a stormwater facility as per Low Impact Development (LID) practices?

Two rain gardens have been incorporated into the parking lot on the SE quadrant of the site.

10. Design Review

- a. A draft design review report will be prepared by staff and provided to you prior to the public meeting on July 11th, 2019.

No response required.

- b. Staff recommends that the city and applicant consider that the crosswalk in 24th St SE be demarcated with different materials than that of 24th St SE.

Costco will do whatever the City wants for this crosswalk.

- c. Provide bike racks near the entrance of the building in accordance with the design guidelines and LSMC 14.72.110.

Bike racks will be provided near the main entrance of the building.

- d. A review of the project materials against the subarea design guidelines shows general compliance and consistency with the guidelines except as already listed above and/or in the review comments required by municipal code listed in this letter.

No response required.

Public Works

Grace Kane, Senior Engineer II/PE

1. Please provide additional narratives to fill in gaps explaining how alternative C (the traffic signal option) the recommended option in the August 2018 report, has now been replaced by Alternative B (roundabout option) as the current proposed option.

The final ICE report was signed and dated October 2018. The conclusions from the ICE document note that the roundabout alternative would result in an acceptable level of service, fewer impacts on travel times on SR 9, and more greater benefits compared to the signal alternative.

2. Please provide a copy of the WSDOT SR9 Corridor Planning Study to City of Lake Stevens.

https://www.wsdot.wa.gov/sites/default/files/2006/03/28/SR9_Final_CPS_032811.pdf

3. August 2018 Report states queuing "...will extend through the proposed commercial driveway and the proposed realigned South Lake Stevens Road". Add a narrative in explaining how the current RAB proposal addresses this issue.

The October 2018 ICE report states that the future queue on 24th Street "will extend to 400 feet and may reach the future intersection and may reach the future intersection of 24th Street SE and South Lake Stevens Road to the west."

With the current site plan, the east edge of the future intersection of 24th Street SE and South Lake Stevens Road is located further than 400 feet from the west edge of the roundabout intersection. The spacing addresses this potential queuing "issue".

Oct 2018 Traffic Report:

4. Pg 2 of TIA states that timing and coordination improvements [for SR 9 at US 2, & Bunk Foss Road] are recommended. Please clarify it is the intent of applicant to make these improvements in the Construction Plans?
Costco and WSDOT are working through the timing and need at SR 9, US 2 and Bunk Foss Road. TSI has supplied WSDOT with all requested analysis on the conceptual improvements. An improvement at Bunk Foss Road or payment for a future improvement would be concurrent with opening of the Costco, per WSDOT. Also, per WSDOT an improvement here is not the full responsibility of Costco. The timing and the Costco contribution should be stated in the Development Agreement, which as we understand is a work in progress.
5. Please details out how the applicant comes up with 5.4% and 3.2% shares breakdown.
"PM peak hour trips" divided by "Future Volume" equals proportionate share.

SR 9 intersections at WB On-Ramp / Bunk Foss Road and at US 2:
PM peak hour Costco trips through both intersections total 282 (Figure 11)
Future with Costco volumes at both intersections total 5205 (Figure 12)
 $282 / 5205 = 5.4\%$

US 2 WB Off-Ramp at Bunk Foss Road:
PM peak hour Costco trips through the intersection 37 (Figure 11)
Future with Costco volume at the intersection 1170 (Figure 12)
 $37 / 1170 = 3.2\%$

6. Pg 15: Delete 91st Ave NE & Market Place project off the list.
Your comment is noted. As required, an addendum may be issued. This former improvement does not impact the conclusions from the traffic analysis and there is no need to re-issue the report.

7. Pg 17: Is applicant planning to construct new SIGNALIZED intersection at 24th St SE & S. Lake Stevens Road as part of the project now? If not now, when? If the intersection will not be signalized now, what portion of mitigation fee would the applicant be contributing for the future improvement for this intersection? Please clarify.

No, a signal is not needed now. The intersection will be widened such that a signal or other improvement may be installed in the future, when conditions warrant a change in access control. Until 24th Street is extended to the west, the traffic volumes forecast generated at this proposed intersection, did not warrant a signal. A specific timing for a signal has not been identified. The Development Agreement will specify requirements and timing triggers for an improvement.

8. Please provide a proposed traffic impact fee summary table detailing out applicant's impact fee to intersections, and segments of road, and which public agencies (WSDOT, Lake Stevens or County) will receive what portion of the Traffic Impact Fee.

Refer to Lake Stevens Municipal Code Chapter 14.112 for how the City of Lake Stevens applies their traffic impact fees. Additionally, the Code allows for credit back to Costco for impact fees paid based on a variety of factors, of which employment and tax revenue are considered. The allocation of traffic impact fees is for citywide improvements, per the City Code.

Lake Stevens does not have interlocal agreements with the WSDOT or Snohomish County. Thus, details of how the proportionate share will be distributed can be addressed in the Development Agreement.

Lake Stevens Fire

Mike Messer, Deputy Chief/Fire Marshal

**Reviewed basic site plan for fire code compliance. Fire approves basic site plan with the following notes:

1. Site plan did not provide information on the location of hydrants, FDC, fire lanes, road width (cannot scale 1"=80'), building elevation. Fire acknowledges that two accesses are required and two are provided at a remote distance meeting the remoteness requirement.

No response required.

Please feel free to contact me at 206-962-6614 or email me at steve.bullock@mg2.com if you have any questions.

Sincerely,



Steve Bullock
MG2

MG2 Corporation
1101 Second Ave, Ste 100
Seattle, WA 98101

206 962 6500
MG2.com

re

MEMO

To	City of Lake Stevens Melissa Place	Date	October 30, 2019
From	Steve Bullock, MG2 Peter Kahn, Costco	Project	City of Lake Stevens New Costco Warehouse
Cc			

RE Deviation Request for Signage and Site Lighting

Click
here
to
enter
text.

The attached package includes all the submittal requirements necessary to approve two deviation requests. One for wall mounted signage in excess of the maximum allowed per code. The second for site light fixtures to be mounted 15% higher than allowed by code.

The following are The City of Lake Stevens code sections that govern these two matters along with our responses for how we believe we comply with these guidelines.

Sign Deviation

Code Section LSMC 14.38.100 describes the City's standards for signage. The excerpts below are those portions of the sign code which pertain specifically to Wall Mounted Signs in the Commercial zone.

14.38.100 Signs

(d) *Projecting/Suspended Signs, Wall Signs, and Window Signs.*

(1) *Table 14.38-IV establishes the dimensional and quantitative requirements for projecting/suspended signs, wall signs, and window signs.*

(3) *Wall Signs.*

(i) *Wall signs shall be generally located in the storefront area above the main entrance along primary facades and beneath the roofline or cornices on secondary facades; **We comply***

(iii) *Wall signs shall be generally centered between defined architectural elements and may not extend beyond defined architectural features; **We comply***

(iv) *Wall signs may be located on building focal points, if the sign does not extend beyond defined architectural features; **We comply***



(v) Wall signs shall not project more than 10 inches from the building;

We comply

(vi) Wall signage may be located on awnings and marquees or similar structures only when the design of the building facade prohibits wall signs on the storefront facade and the signage does not extend beyond defined architectural features; and **NA**

(vii) The wall sign area calculation is defined in Table 14.38-IV and the maximum area will be based on the size of the associated gross business area, as follows:

c. Over 15,001 gross square feet: 192 square feet. **This is the subject of our Deviation Request**

Table 14.38-IV Sign Standards

<i>Sign Type</i> ¹		<i>CD</i> ²
<i>Wall</i> ³	<i>Sign Area</i>	Main: 15% of building facade Secondary: 10% of building facade We comply
	<i>Maximum Number</i>	1 per facade ⁴ 3 facades may have signs We comply

Notes:

3. Wall sign calculation: the facade area (first 12 feet of the building height) multiplied by the total facade length or leasable frontage for multi-tenant buildings (example: $[12 \times 30 = 360]$ $[360 \times 15\% = 54 \text{ sq. ft.}]$). The sign calculation for second story signage would be the leasable frontage multiplied by the height of the story (example: $[12 \times 20 = 240]$ $[240 \times 15\% = 36 \text{ sq. ft.}]$).

4. Building over 15,000 gross square feet, with a primary facade length over 100 linear feet, may have two signs along the primary facade for the primary businesses and one sign per enclosed secondary business. Sign area for all signs will be included in the maximum sign area.

Response: Costco's Sign proposal complies with all the above code sections with the exception of 14.38.100.d.3.vii.c which limits the sign area for the building to a maximum of 192 sf regardless of the size of the building.

In designing the exterior of a Costco warehouse, we intentionally use the building materials and colors to create areas around the building that can be used as a backdrop for our wall mounted signage. We also pay particular attention to the scale of these areas. For any building, a sign that is too large or too small creates problems related to readability and clarity. We want Costco's warehouse signage to be properly scaled with the building to minimize legibility concerns. We are also concerned with having signs that are too big and become offensive. To that end, we are proposing only two "Costco" signs along with a secondary "Tire Center" sign on the eastern warehouse façade. The Fuel facility will have two signs located on its east and south facades as well. Additional informational/directional signage is also proposed.

Based on our design approach described above and the fact that the size of our building would allow us more sign area (325' x 12' allows over 585 sf of signage), we respectfully request, consistent with LSMC 14.68.124, the planning director allow signage for the Costco project including 2 warehouse "Costco" signs, 2 gas station "Costco" signs and various directional signage including "Tire Center" that total under 450 sf. This is because the final design demonstrates exceptional design related to integrating the signage into the overall design of the building and the site. The signage will improve the legibility and aesthetics of the building and the signage for those traveling along Hwy 9 while minimizing impact to the surrounding neighborhood. Our responses to LSMC 14.68.124 which allows Deviations such as this are provided below.

14.68.124 Incentive Provisions for Exceptional Efforts.

- a) *To encourage the integration of signage into the visual framework of its location, special consideration may be given to signs of exceptional design. Special consideration may, at the Planning Director's discretion, result in a relaxation of the number, dimensional and locational standards specified in this chapter. No other standards may be relaxed. This is not to be confused with a variance. It is to be based on an exceptional effort toward creating visual harmony between the sign, the building(s), and the site.*

Response: Costco's proposed sign package is integrated into the design of the building and the neighboring community. All signage is oriented towards Hwy 9 and is scaled to be consistent with the design and size of the building creating visual harmony between the sign, the building, the site and the surrounding community.

b) *Petitions for consideration of signs pursuant to this section shall be made to and decided by the Planning Director. The petition and application shall be presented with the entire sign plan to the Design Review Board with a narrative outlining the proposed plan addressing, but not limited to, the following:*

1) *How the components of the sign improve legibility, readability, and aesthetics;*

Response: The proposed signage is integrated into the design of the building. It is sized to minimize legibility concerns from surrounding roads without being garish or offensive. As demonstrated by the fact that it falls within the size that is allowed by the LSMC (15%) of the first floor elevation shows that we are respecting the scale standard made by the community. It is only because there is an additional maximum size limitation that we need to ask for this deviation.

2) *The relationship of the proposed sign to the community vision for the zone, as expressed in the Comprehensive Plan, intent of the zone, and Development Design Guidelines. In the Central Business District in particular, signs designed to enhance the historic character of downtown may be given special consideration;*

Response: This site is located within the 20 St Subarea Plan and is designated for commercial development. Our proposed signage is consistent with the community vision and zone classification we are located in

3) *Relationship of the sign to the immediate surroundings, including existing and proposed buildings, other signs, and landscape;*

Response: As noted previously all the signs are oriented towards Hwy 9 and will not adversely impact adjacent residential development. We believe Costco's sign proposal is consistent with this criteria.

4) *Relationship of the sign to the business that the sign is to promote; and*

Response: The proposed signs are intentionally placed to assist people coming to the site and then navigating the site. Signage on the SE corner of the building directs drivers to the site. The smaller sign at the NE corner of the building directs customers to the front door of Costco's warehouse. Signage on the Gas Station directs customers to that facility.

5) *A colored rendering, showing the proposed sign, dimensions of the sign, and location of the sign.*

Response: See the attached drawings and the perspectives

Light Fixture Height Deviation

Code Section LSMC 14.38.080 describes the City's standards for site lighting. The excerpts below are those portions of the sign code which pertain specifically to site lighting in the Commercial zone.

14.38.080 Lighting

(c) Height Standards.

- (1) Lighting fixtures used in parking lots shall not exceed a maximum height of 30 feet. **We are requesting a Deviation***
- (2) Lighting fixtures over 16 feet in height shall be fitted with a full cut-off shield. **We comply***
- (3) Lighting fixtures along sidewalks and paths shall not exceed a maximum height of 16 feet. **We comply***

Response: Costco requests an Administrative Deviation to allow the site light poles and fixtures to be 15% taller than what the code provides (as allowed in LSMC 14.16C.120 see below) for allowing for a 34.5' tall fixture height. Taller fixture height will allow for fewer fixtures ultimately needed and with a reduction in fixtures, there is a reduction in energy use. This is one of the many facets of Costco's sustainability approach. Limiting our fixture height to 30' would result in a 25% increase in the number of fixtures we will need to install on the site and the amount of energy needed to run them. With the taller fixtures, we are committed to using full cut off fixtures where needed to ensure no light spillage will occur onto adjacent properties. See below for how we comply with the Deviation criteria.

14.16C.120 Administrative Authority.

- a) Purpose. The intent of this section is to allow the Community Development Director (Director) certain defined flexibility and discretionary authority to consider minor alterations to zoning code regulations including dimensional, parking, landscape and design standards related to sites and/or situations with unique characteristics when the proposed modification provides an equivalent or superior standard to the intended dimensional regulation or design standard.*
- b) Administrative Deviation. The Director or designee may authorize administrative deviations to development regulations up to 15 percent of a quantifiable development standard when situations arise where alternatives to the standards may better accommodate existing conditions, address unique circumstances or allow for more cost-effective solutions without adversely affecting safety, aesthetics, or altering the character of the neighborhood or site. Applications for administrative deviations shall follow the procedures for a Type I review pursuant to Chapter 14.16B, Part I. Any applicant requesting*

consideration of a deviation shall demonstrate, at a minimum, how the request complies with the following criteria:

- 1) *The deviation will achieve the intended result of the standards with a comparable or superior design and quality of improvement;*

Response: Costco's proposal will comply with the City's limitations on light spillage to adjacent properties. As such, the taller fixtures will achieve the intended result of the standard while reducing the amount of raw materials needed for additional fixture and reducing the amount of energy needed to light the parking lot.

- 2) *The deviation will not adversely affect public safety or the environment;*

Response: Costco's will not adversely affect public safety or the environment. In our opinion, it will provide better more even light coverage than shorter poles will.

- 3) *The deviation will not adversely affect the aesthetic appearance of the project; and*

Response: The deviation will not adversely affect the aesthetic appearance of the project. The number of light poles with our proposal will be roughly 35 where 48 would be required at the lower height.

- 4) *The alteration will not be detrimental to surrounding properties in the immediate vicinity.*

Response: The full cut-off fixtures will ensure that the taller fixtures will not be detrimental to surrounding properties. If in completing our photometric plan we have spillage that does not comply with City requirements we will lower the poles that are causing the problem to 30'.

Response: In short, the proposed deviation will achieve the intention of the standard; It will not adversely affect public safety or the environment; It will not adversely affect the aesthetic appearance of the project; and it will not be detrimental to the surrounding properties.

Please feel free to contact me at 206-962-6614 or email me at steve.bullock@mg2.com if you have any questions.

Sincerely,



Steve Bullock
MG2



BUILDING FACADE = 11,050 SQ FT
SIGNAGE = 281 + 27 + 158 = 466 SQ FT

1 EAST ELEVATION
SCALE: 1" = 40'



SIGN AREA = 281 SF

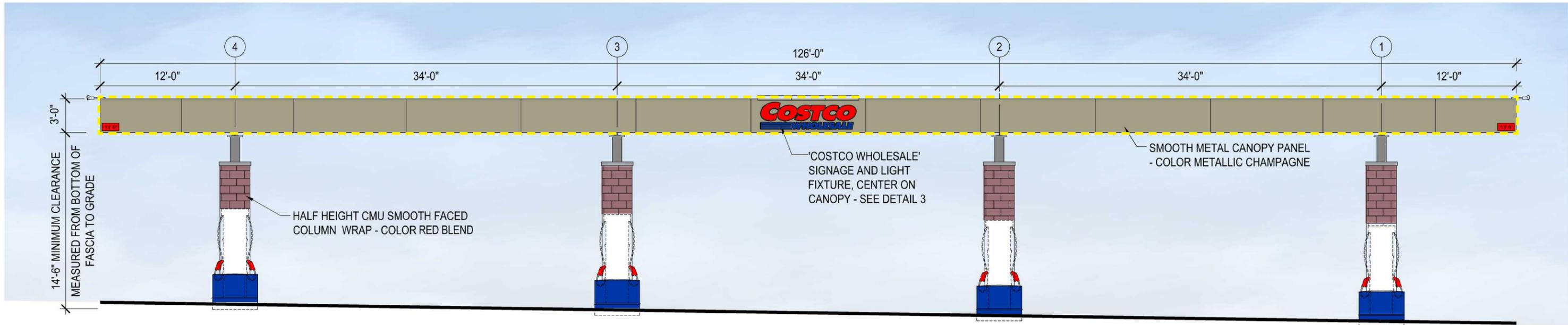


SIGN AREA = 27 SF

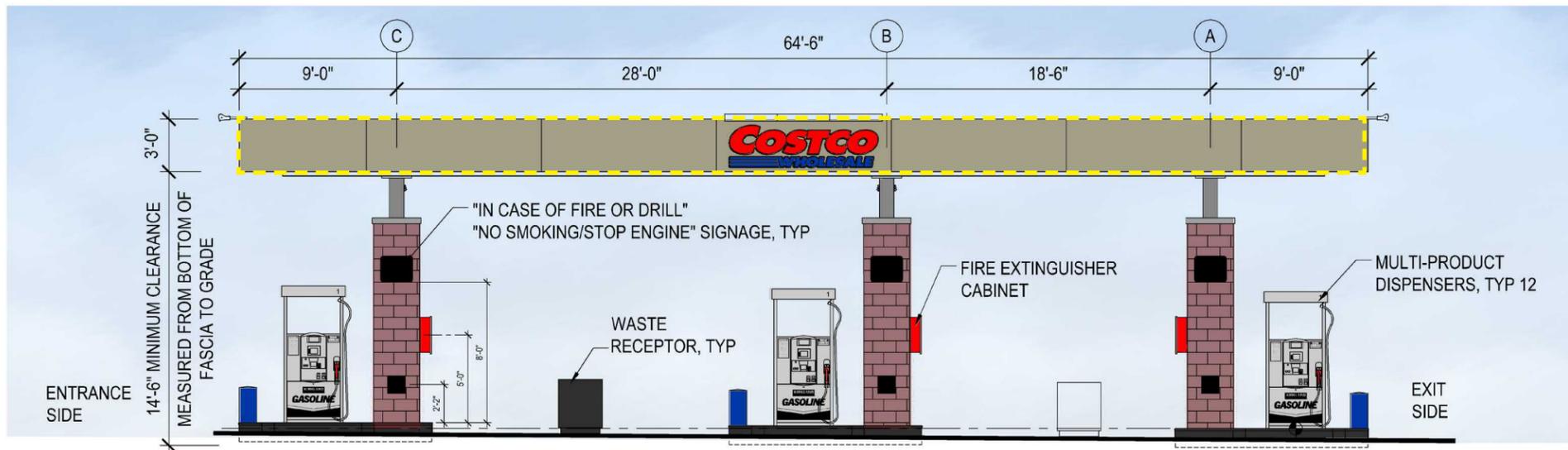


SIGN AREA = 158 SF

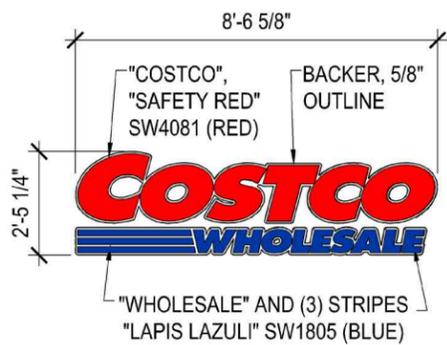




1 SOUTH ELEVATION



2 WEST ELEVATION



BUILDING FACADE = 419.6 SQ FT
SIGNAGE = 20.8 SQ FT

BUILDING FACADE = 209.7 SQ FT
SIGNAGE = 20.8 SQ FT

PROJECT DATA Exhibit 4

CLIENT: COSTCO WHOLESALE
 999 LAKE DRIVE
 ISSAQUAH, WA 98027

PROJECT ADDRESS: SWC OF SR 9 & 20TH ST S.E.
 LAKE STEVENS, WA

SITE DATA:

COSTCO SITE AREA: 21.67 ACRES (943,862 SF)
 CITY ROW AREA: 4.11 ACRES (178,936 SF)
 STORMWATER FACILITY AREA: 4.48 ACRES (195,212 SF)
 WETLAND/MITIGATION AREA: 6.06 ACRES (263,995 SF)
 OUTLOT 1: 1.00 ACRES (43,722 SF)
TOTAL SITE AREA: 37.04 ACRES (1,613,564 SF)

JURISDICTION: CITY OF LAKE STEVENS

ZONING: COMMERCIAL DISTRICT (CD)

SETBACKS:	REQUIRED	ACTUAL
FRONT:	30'	FRONT: 172'
SIDE:	30'	SIDE: 46'
REAR:	30'	REAR: 60'

BUILDING DATA (148K PROTOTYPE):

TOTAL BUILDING FOOTPRINT AREA: 158,716 SF

INCLUDES:

WAREHOUSE MAIN LEVEL	150,371 SF
FIRE DEPT ROOM	425 SF
MECHANICAL ROOM	1,492 SF
ENVELOPE / EXTERIOR WALL	1,608 SF
ENCLOSED CANOPY	4,820 SF

PARKING DATA:

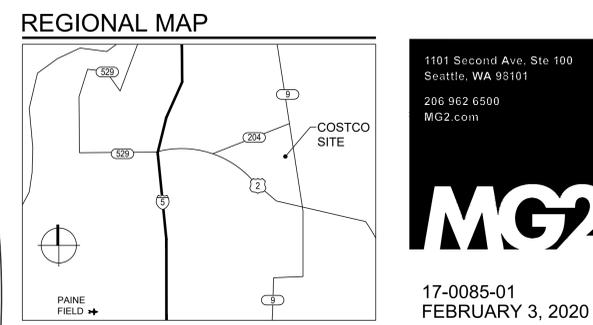
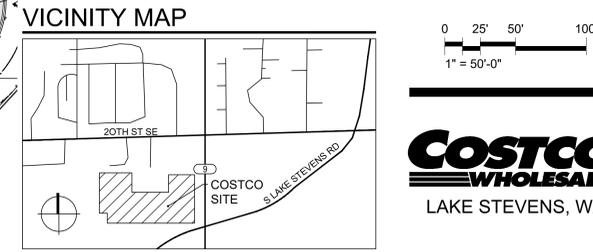
TOTAL PARKING: 836 STALLS

INCLUDES:

10' WIDE STALLS	818 STALLS
ACCESSIBLE STALLS	18 STALLS

NUMBER OF STALLS PER 1000 SF OF BUILDING AREA: 5.27 STALLS

NOTES:
 EXISTING CONDITIONS TO BE FIELD VERIFIED.



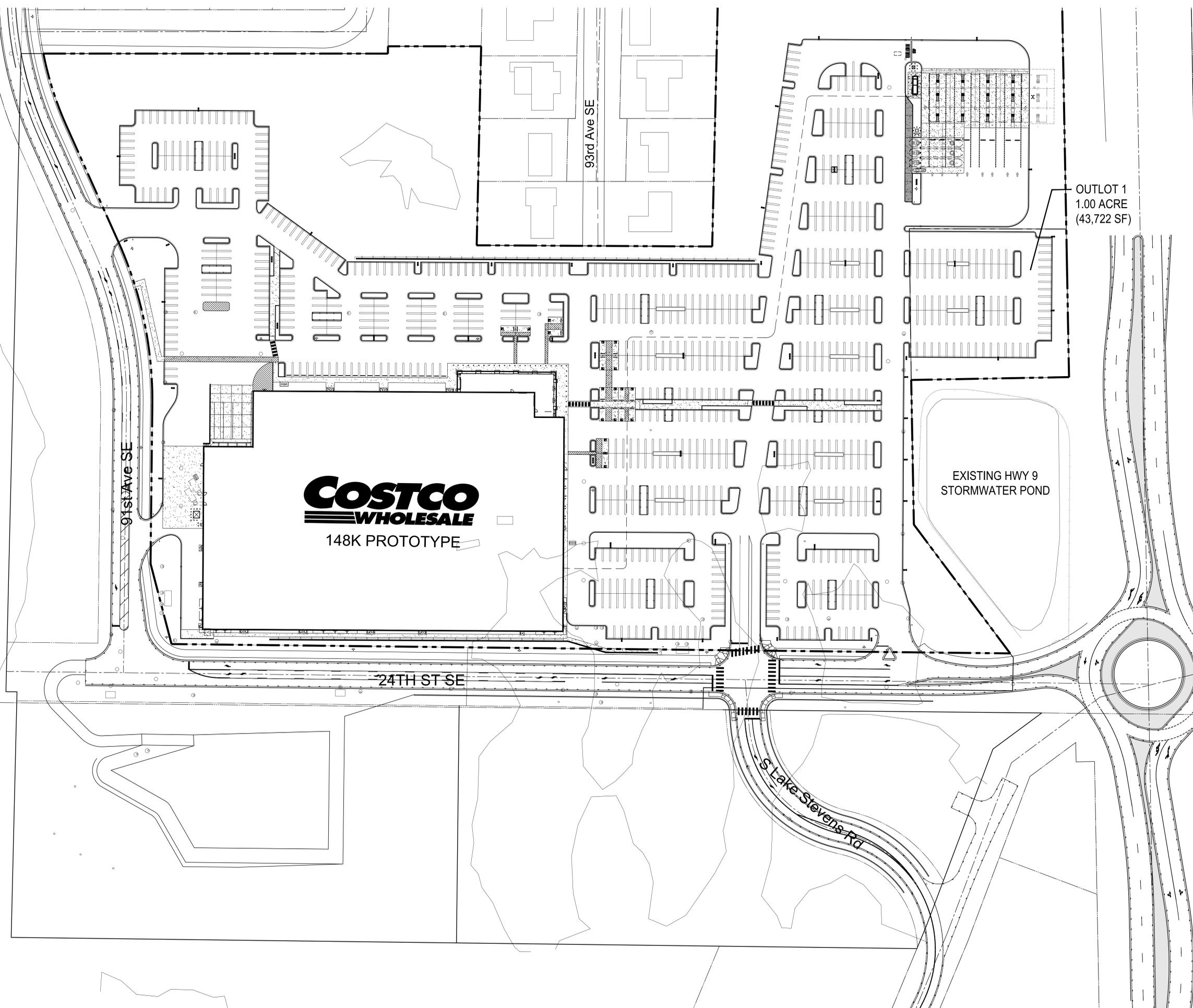
1101 Second Ave. Ste 100
 Seattle, WA 98101
 206 962 6500
 MG2.com



17-0085-01
 FEBRUARY 3, 2020

CONCEPT
 SITE PLAN

DD11-10



COSTCO WHOLESALE

LAKE STEVENS, WASHINGTON

CONCEPT SITE PLAN

FEBRUARY 3, 2020

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PROJECT DATA

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999 LAKE DRIVE
ISSAQUAH, WA 98027

PROJECT ADDRESS: SWC OF SR 9 & 20TH ST S.E.
LAKE STEVENS, WA

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TOTAL SITE AREA: 37.04 ACRES (1,613,564 SF)

JURISDICTION: CITY OF LAKE STEVENS

ZONING: COMMERCIAL DISTRICT (CD)

SETBACKS:	REQUIRED	ACTUAL
FRONT:	30'	FRONT: 172'
SIDE:	30'	SIDE: 46'
REAR:	30'	REAR: 60'

BUILDING DATA (148K PROTOTYPE):

TOTAL BUILDING FOOTPRINT AREA: 158,716 SF

INCLUDES:	
WAREHOUSE MAIN LEVEL	150,371 SF
FIRE DEPT ROOM	425 SF
MECHANICAL ROOM	1,492 SF
ENVELOPE / EXTERIOR WALL	1,608 SF
ENCLOSED CANOPY	4,820 SF

PARKING DATA:

TOTAL PARKING: 836 STALLS

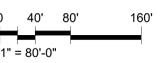
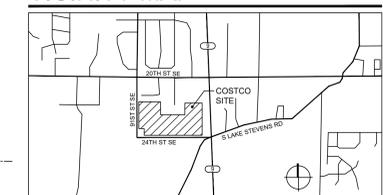
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NUMBER OF STALLS PER 1000 SF OF BUILDING AREA: 5.27 STALLS

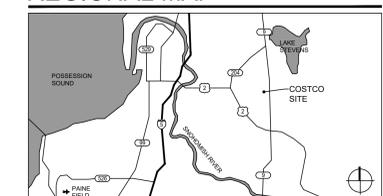
NOTES:
EXISTING CONDITIONS TO BE FIELD VERIFIED.



VICINITY MAP



REGIONAL MAP



1101 Second Ave. Ste 100
Seattle, WA 98101
206 962 6500
MG2.com



17-0085-01
FEBRUARY 3, 2020

OVERALL SITE PLAN

DD12-10

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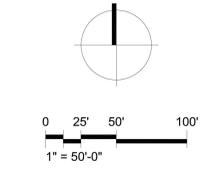


COSTCO WHOLESALE

LAKE STEVENS, WASHINGTON

OVERALL SITE PLAN

FEBRUARY 3, 2020



COSTCO
WHOLESALE
 LAKE STEVENS, WA

SEE SHEET L1.2 FOR
 LANDSCAPE LEGEND & DETAILS

WEISMANDESIGNGROUP

LANDSCAPE ARCHITECTURE 2320 E MADISON ST SEATTLE WA 98112 206-323-1732 WWW.WDGINC.COM

17-0085-01
 FEBRUARY 27, 2020

PRELIMINARY
 LANDSCAPE
 PLAN

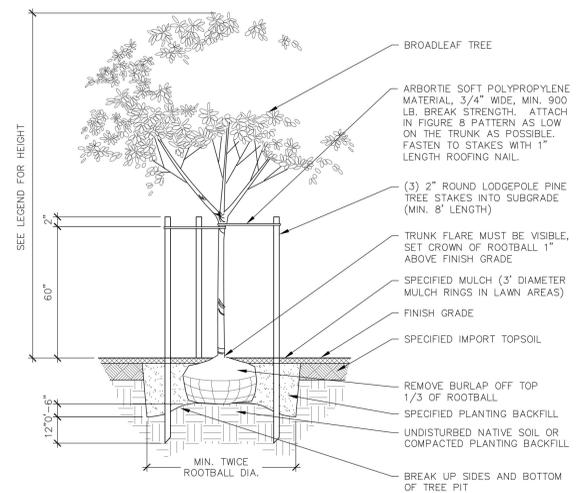
L1.1

COSTCO WHOLESALE

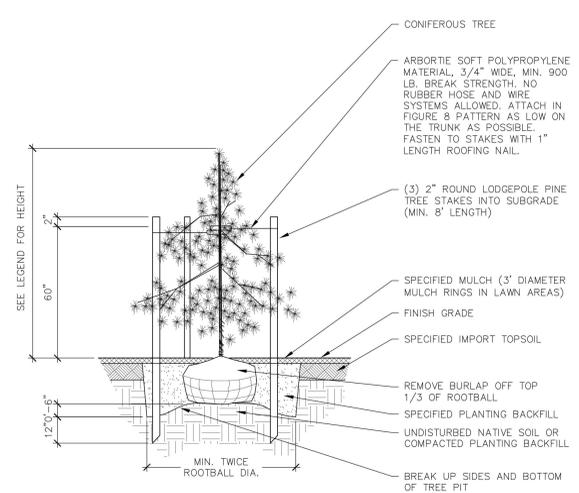
LAKE STEVENS, WASHINGTON

PRELIMINARY LANDSCAPE PLAN

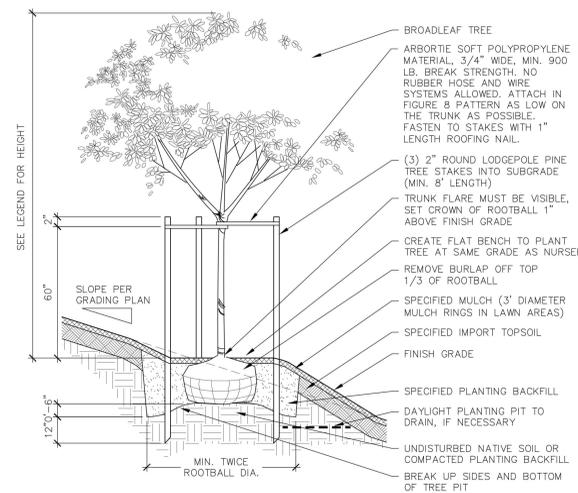
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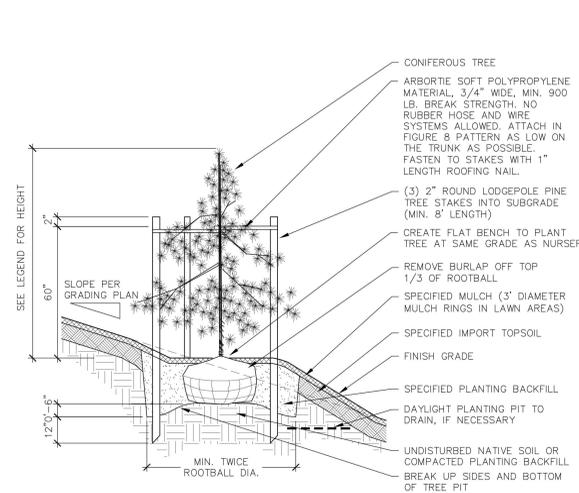
A DECIDUOUS TREE PLANTING Scale: 3/8"=1'-0"



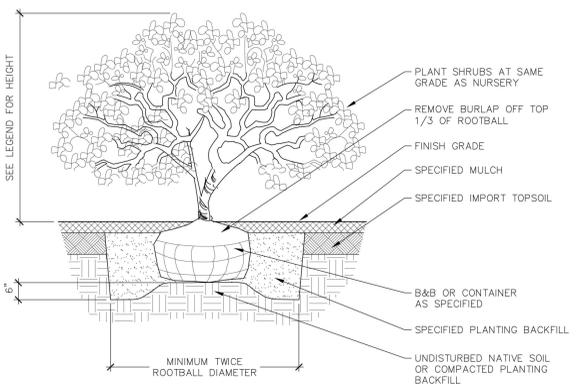
B CONIFEROUS TREE PLANTING Scale: 3/8"=1'-0"



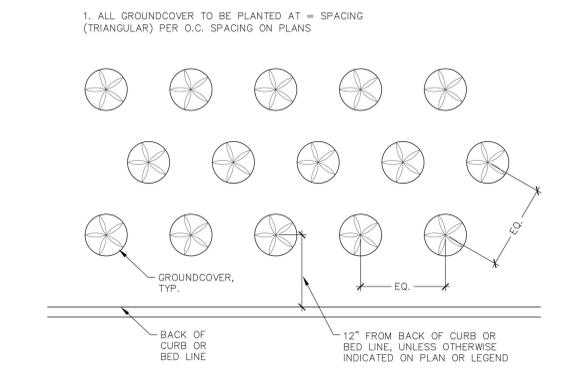
C DECIDUOUS TREE PLANTING ON SLOPE Scale: 3/8"=1'-0"



D CONIFEROUS TREE PLANTING ON SLOPE Scale: 3/8"=1'-0"



E SHRUB / GROUND COVER PLANTING Scale: 1 1/2"=1'-0"



F GROUND COVER SPACING Scale: 1"=1'-0"

PRELIMINARY LANDSCAPE LEGEND (SYMBOLS SHOWN AT 1"=20")

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / CONDITION
DECIDUOUS STREET TREES			
	ACER RUBRUM 'BOWHALL'	BOWHALL MAPLE	MIN. 3" CAL., MIN. 14-16' HT., MATCHED, FULL & WELL-BRANCHED ABOVE 6' HT., B&B.
	CORNUS F. 'EDDIES WHITE WONDER'	FLOWERING DOGWOOD	MIN. 2" CAL., MIN. 10-12' HT., MATCHED, FULL & WELL-BRANCHED ABOVE 6' HT., B&B.
LARGE DECIDUOUS TREES			
	ACER X 'WARRENRED'	PACIFIC SUNSET MAPLE	MIN. 2" CAL., MIN. 10-12' HT., MATCHED, FULL & WELL-BRANCHED ABOVE 6' HT., B&B.
	TILIA CORDATA	GREENSPIRE LINDEN	
	FRAXINUS LATIFOLIA	OREGON ASH	MIN. 3" CAL., MIN. 14-16' HT., MATCHED, FULL & WELL-BRANCHED ABOVE 6' HT., B&B.
	GLEDITSIA T. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	
	NYSSA SYLVATICA 'BLACK TUPELO'	SOUR GUM	
	QUERCUS RUBRA	RED OAK	
SMALL ACCENT TREES			
	ACER CIRCINATUM	VINE MAPLE	MIN. (3) 1" CAL., MIN. 8'-10' HT., MULTI-STEM, MATCHING SPECIMEN, WELL-BRANCHED, B&B.
	AMELANCHIER X 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	
	OXYDENDRUM ARBOREUM	SOURWOOD TREE	MIN. 2" CAL., MIN. 10'-12' HT., MATCHED, FULL & WELL-BRANCHED, B&B.
CONIFEROUS EVERGREEN TREES			
	CALOCEDRUS DECURRENS	INCENSE CEDAR	MIN. 8'-10' HT., FULL AND BUSHY TO BASE, B&B
	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	
	THUJA PLICATA 'HOGAN'	HOGAN CEDAR	
LARGE SHRUBS			
	EUONYMUS A. 'RUDY HAAG'	COMPACT BURNING BUSH	30-36" HT./SPD., FULL AND BUSHY, CONT., SPACING AS SHOWN.
	LONICERA INVOLUCRATA	TWINBERRY	
	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	
	RIBES SANGUINEUM	RED FLOWERING CURRANT	
	PHILADELPHUS LEWISII	WILD MOCKORANGE	
	PHYSOCARPUS CAPITATUS	PACIFIC NINEBARK	
MEDIUM SHRUBS			
	CORNUS SANGINEA 'MIDWINTER FIRE'	MIDWINTER FIRE DOGWOOD	24-30" HT./SPD., FULL AND BUSHY, CONT., SPACING AS SHOWN.
	CORNUS SERICEA 'ISANTI'	ISANTI REDOSIER DOGWOOD	
	MAHONIA AQUIFOLIUM	OREGON GRAPE	
	PHYSOCARPUS O. 'LITTLE DEVIL'	LITTLE DEVIL NINEBARK	
	ROSA NUTKANA	NOOTKA ROSE	
	RUBUS PARVIFLORUS	THIMBLEBERRY	
	ILEX CRENATA 'GREEN ISLAND'	GREEN ISLAND JAPANESE HOLLY	18-24" HT./SPD., FULL AND BUSHY, CONT., SPACING AS SHOWN.
	LONICERA PILEATA	PRIVET HONEYSUCKLE	
	MAHONIA A. 'COMPACTA'	COMPACT OREGON GRAPE	
	PINUS MUGO 'SLOWMOUND'	MUGO PINE	
	POTENTILLA FRUTICOSA 'RED ACE' TM	RED ACE POTENTILLA	
	SPIRAEA BETULIFOLIA 'TOR'	BIRCHLEAF SPIREA	
	SYMPHOCARPUS ALBUS	COMMON WHITE SNOWBERRY	
	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	
SMALL SHRUBS			
	CORNUS S. 'KELSEY'	KELSEY DOGWOOD	12-15" HT./SPD., FULL AND BUSHY, CONT., SPACING AS SHOWN.
	GAULTHERA SHALLON	SALAL	15-18" HT./SPD., FULL AND BUSHY, CONT., SPACING AS SHOWN.
ORNAMENTAL GRASSES / ACCENTS			
	PANICUM VIRGATUM 'NORTHWIND'	SWITCH GRASS	5 GAL. CONT., FULL & BUSHY, SPACING AS SHOWN.
	DESCHAMPسيا CESPITOSA	TUFTED HAIR GRASS	2 GAL. CONT., FULL & BUSHY, SPACING AS SHOWN.
	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	
	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	
GROUNDCOVERS			
	ARCTOSTAPHYLOS UVA-URSI	KINNIKINICK	1 GAL. CONT. AT 18" O.C. TRIANG. SPACING, START FIRST ROW 12" FROM EDGE.
	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	1 GAL. CONT. AT 24" O.C. TRIANG. SPACING, START FIRST ROW 24" FROM EDGE.
	RUBUS CALYCINOIDES	GREEN CARPET RASPBERRY	1 GAL. CONT. AT 12" O.C. TRIANG. SPACING, START FIRST ROW 12" FROM EDGE.
NATIVE MIX:			
	25% GAULTHERA SHALLON	SALAL	1 GAL. CONT. AT 18" O.C. TRIANG. SPACING, START FIRST ROW 12" FROM EDGE. PLANT IN GROUPS OF 5-7 IN RANDOM DRIFTS.
	50% MAHONIA REPENS	CREeping MAHONIA	
	25% POLYSTICHUM MUNITUM	WESTERN SWORD FERN	
RAIN GARDEN MIX:			
	40% CAREX OBNUPTA	SLOUGH SEDGE	10" PLUGS AT 8" O.C. TRIANG. SPACING, START FIRST ROW 8" FROM EDGE. PLANT IN GROUPS OF 5-7 IN RANDOM DRIFTS. BIORETENTION SOIL DEPTH AND REQUIREMENTS PER CIVIL.
	20% IRIS DOUGLASIANA	DOUGLAS IRIS	
	20% JUNCUS ENSIFOLIUS	SWORDLEAF RUSH	
	20% SCIRPUS MICROCARPUS	SMALL-FRUITED BULRUSH	
SOD LAWN			
	COUNTRY GREEN 'PERFECT GREEN'	TURF BLEND, SEE SPECIFICATIONS	
NATIVE TREE REVEGETATION MIX			
SEE DETAIL "I"/SHEET L1.7 FOR LAYOUT INFORMATION. 1 GAL. CONT. MIN. TREES. SEED AREA WITH ECOTURF ROUGH SEED MIX, SEE SPECS.			

LANDSCAPE CALCULATIONS

TOTAL COSTCO SITE AREA =	21.67 ACRES (943,862 S.F.)
TOTAL VEHICLE ACCOMMODATION AREAS =	490,010 S.F.
SHADED AREA REQUIRED =	98,002 S.F. (20%)
SHADED AREA PROVIDED =	129,411 S.F. (26%)
ISLANDS WITH 2 TREES =	64 x 1,265 S.F. EACH = 80,960 S.F.
ISLANDS WITH 1 TREE =	47 x 707 S.F. EACH = 33,229 S.F.
PERIMETER TREES =	43 x 354 S.F. EACH = 15,222 S.F.
TOTAL NUMBER OF NEW TREES PROVIDED ON SITE =	400+
EXISTING TREE MITIGATION EXISTING TREES TO BE REMOVED =	1,814
(REFER TO SURVEY BY AMERICAN FOREST MANAGEMENT DATED 3/27/18)	
REPLACEMENT TREES REQUIRED (1 GAL. SIZE) =	5,442 (1,814 X 3)
REPLACEMENT TREES PROVIDED ON SITE =	1,551 (86,000 S.F. AT 8' O.C.)
REPLACEMENT TREES PROVIDED ON S.R. 9 ROW =	414 (23,000 S.F. AT 8' O.C.)
REMAINDER OF REPLACEMENT TREES TO BE PROVIDED OFF SITE OR BY MITIGATION FUND =	3,477

PLANTING NOTES

- ALL NEW LANDSCAPE AREAS ARE TO BE WATERED WITH AN AUTOMATIC WATER CONSERVING IRRIGATION SYSTEM. SEE IRRIGATION PLANS.
- MULCH ALL SHRUB AND GROUND COVER AREAS WITH A MINIMUM 3" DEPTH OF SPECIFIED MULCH.
- WHERE GROUND COVER IS SHOWN, IT SHALL BE PLANTED AT THE SPECIFIED SPACING THROUGHOUT THE BED, INCLUDING AREAS UNDERNEATH TREES AND SHRUBS, START FIRST ROW 12" FROM EDGE OF BED.
- SEE CIVIL DRAWINGS FOR GRADING, UTILITIES AND EROSION CONTROL.
- CONTRACTOR SHALL PROVIDE DIGITAL PHOTOS OF A REPRESENTATIVE TREE, SHRUB, OR GROUND COVER FOR ALL MATERIALS IN LEGEND BELOW FOR LANDSCAPE ARCHITECT REVIEW AND ACCEPTANCE PRIOR TO PROCUREMENT. THIS SHALL ESTABLISH THE STANDARD FOR APPROVED MATERIAL.
- INSTALL ROOT BARRIERS AT ALL INTERIOR PLANTING AREAS WHERE HARDSCAPE IS WITHIN 3' OF TREES, AND ALONG ALL STREET TREES WITHIN PLANTER STRIPS, 20' TOTAL LENGTH, CENTERED ON EACH SIDE OF TREE.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



Exhibit 5



CITY OF LAKE STEVENS NOTICE OF PUBLIC MEETING Costco – Site Plan & Design Review

PROJECT NAME/ FILE NUMBER: Costco / LUA2019-0080 and LUA2019-0081

APPLICANT: Steve Bullock of MG2 Architects on behalf of Costco Wholesale

PROJECT LOCATION: Southwest corner of the SR-9 & 20th St. SE Intersection, Lake Stevens, WA 98258

DATE OF PUBLIC MEETING: / TIME: **Thursday, July 11th at 6:00 p.m.**

MEETING LOCATION: Lake Stevens Fire Department Conference Center, 10518 18th St SE, Lake Stevens, WA 98258

Proposed Project Description: Applicant proposes a 170,000 square-foot wholesale/retail warehouse with 850 parking stalls and a 30-pump fueling facility located in the Commercial District zone and 20th Street Subarea on seven parcels totaling 36.71 acres, with a project area of 21.67 acres. The construction plans for the project will include the new public roads (91st Ave SE, 24th St SE, and S. Lake Stevens Road), a roundabout at the SR-9/24th St. SE/S. Lake Stevens Rd. intersection, and a stormwater detention pond.

The project requires a public meeting to inform citizens about the proposal. Site plan review is a Type II administrative decision. Design review is a Type I administrative decision. The city issued a Planned Action Certification for the project on June 6, 2019, under the Lake Stevens 20th St. SE Corridor Subarea EIS adopted via Ordinance No. 878 and pursuant to Lake Stevens Municipal Code (LSMC) 14.38.120.

PUBLIC REVIEW:

The project file, including a site map is available for review at City Hall, Monday-Friday 9:00 am- 4:00 pm. Limited materials are available at: <https://apps.lakestevenswa.gov/Citizen>.

For additional information please contact the Department of Community Development at 425-622-9430.

It is the City's goal to comply with the American with Disabilities Act. The City offers its assistance to anyone with special needs, including the provision of TDD services.

Distribution: Applicant
Posted at City Hall, Subject Property, and Website
Mailed to property Owners within 300 feet of project site
Emailed to NOA Distribution List (Agencies, Tribes, Utilities, etc.)
Published in Everett Herald